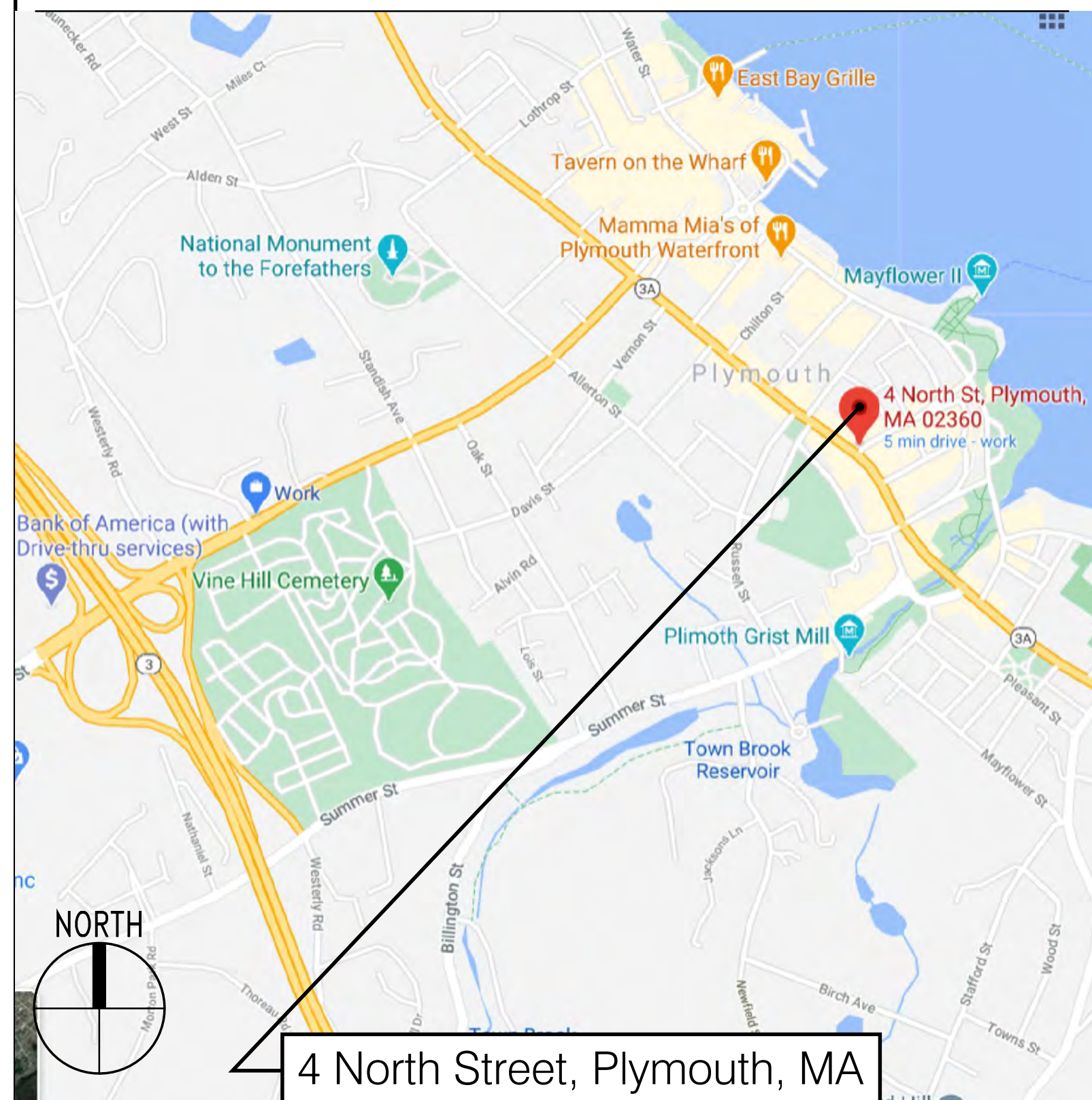


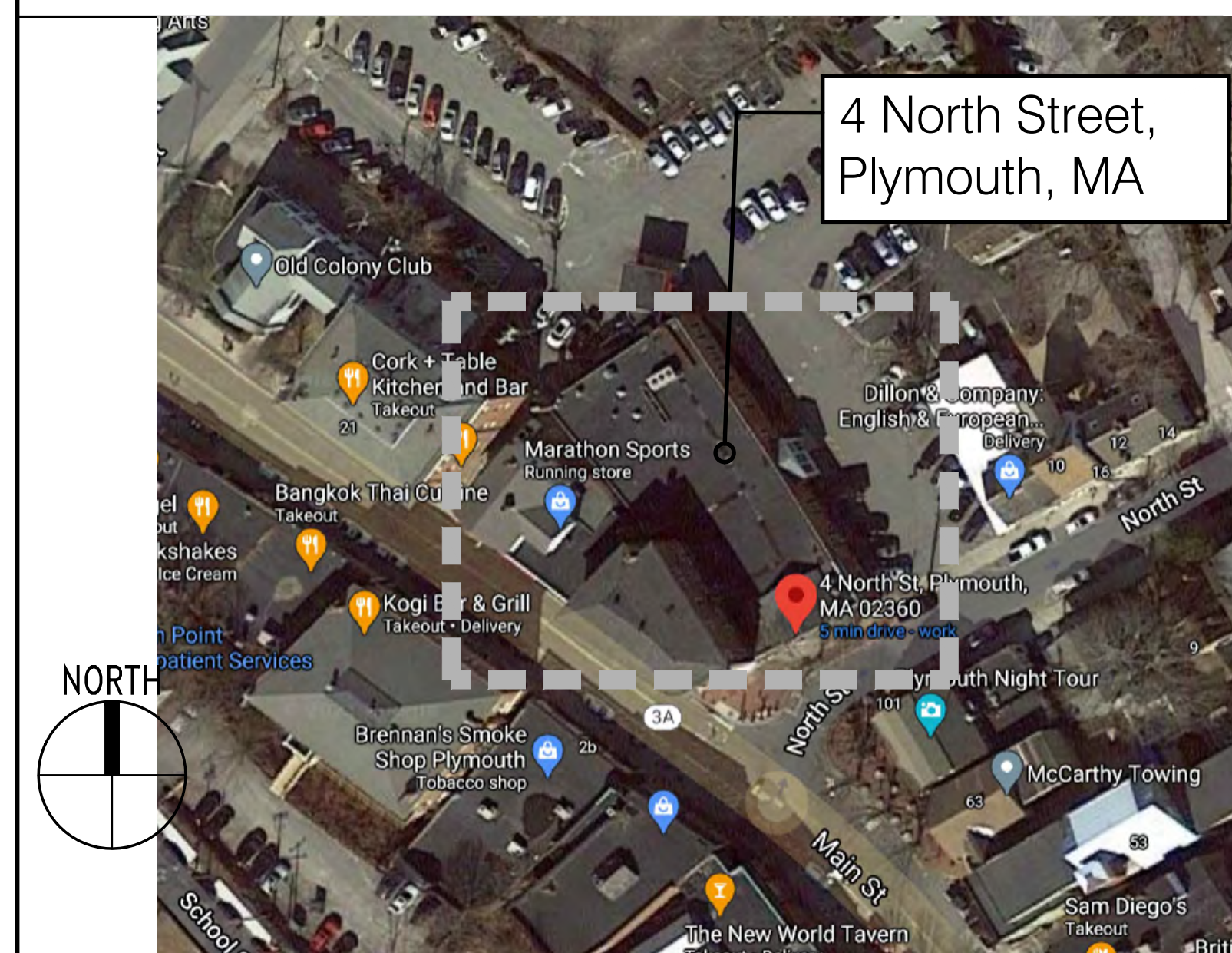
# See Plymouth - Interior Office Space Renovations

4 North Street  
Plymouth MA 02360

## LOCUS



## KEY PLAN



## CLIENT

**See Plymouth - Office of Tourism**  
4 North Street  
Floor 1/Unit 1  
Plymouth, MA 02360  
T: 508.747.0100  
Web: <https://www.seeplymouth.com/>

**Contact:**  
**Lea Filson, President/CEO**  
E: [lea.filson@seeplymouth.com](mailto:lea.filson@seeplymouth.com)

## LANDLORD

**Park Plymouth / P.G.D.C.**  
40 Court Street  
Floor 1/Unit 1  
Plymouth, MA 02360  
T: 508.747.5929  
Web: <https://www.parkplymouth.com/>

**Owner Contact:**  
**Desmond Egan**  
Operations Manager  
E: [degan@parkplymouth.com](mailto:degan@parkplymouth.com)

## GENERAL CONTRACTOR

**HAYNES GROUP - Builders/Construction Managers**  
385 West Street  
West Bridgewater, MA 02379  
T: 508.230.9494  
Web: <https://www.haynesgroupinc.com/>  
**Contact:**  
**David Spinale, Project Executive**  
E: [dspinale@haynesgroupinc.com](mailto:dspinale@haynesgroupinc.com)

## ARCHITECT



91 Samoset Street  
Plymouth, MA 02360  
508.746.4646  
[r2arch.com](http://r2arch.com)

**Senior Project Manager:**  
**Jim Wilson**  
E: [jim@r2arch.com](mailto:jim@r2arch.com)  
P: 508.746.4646

**Architect:**  
**Robert Reifeiss**  
E: [robert@r2arch.com](mailto:robert@r2arch.com)  
P: 508.746.4646



## DRAWING LIST

		BID SET - 5/12/21	PRICING SET - 7/27/21	PERMIT & CONSTRUCTION SET - 7/27/21
<p>  REISSUED WITHOUT REVISION   ISSUED NEW OR WITH REVISION         </p>				
ARCHITECTURAL				
G000	COVER SHEET			
G001	GENERAL NOTES & STANDARDS			
G002	DESIGN-BUILD NOTES & PARTITION TYPES			
CR000	CODE REVIEW & EGRESS PLANS			
CR001	CODE REVIEW & EGRESS PLANS			
D000	DEMOLITION NOTES & SPECIFICATIONS			
D100	DEMOLITION FLOOR PLANS			
A101	CONSTRUCTION FLOOR PLAN			
A121	REFLECTED CEILING PLAN			
A601	DOOR SCHEDULE, NOTES & GEN. INFO			



\*\*\*7/29/21 - PERMIT/CONSTRUCTION SET\*\*\*



# GENERAL NOTES/DESIGN-BUILD NOTES

**GENERAL NOTES** THE GENERAL CONTRACTOR SHALL CONFORM TO AIA DOCUMENT A201 - (1997) GENERAL CONDITIONS. IT IS HEREBY MADE PART OF THIS CONTRACT HEREIN

- 1.) THE GENERAL CONTRACTOR (G.C.) SHALL FIELD-VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO THE WORK AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT REGARDING ANY DISCREPANCIES.
- 2.) THE G.C. AND THE DESIGN/BUILD (D/B) SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING COMPLETE M.E.P./F.P., A.V. SYSTEMS DESIGN AND LAYOUT DRAWINGS WITH CALCULATIONS & LOADS (AS MAY BE REQUIRED BY THE AUTHORITY HAVING JURISDICTION) WHICH CONFORM TO ALL STATE AND LOCAL CODES, STAMPED AND CERTIFIED BY A REGISTERED P.E. AS REQUIRED BY THE M.S.B.C. & THE LOCAL BUILDING & FIRE DEPTS. AT THE TIME OF PERMIT. THIS INCLUDES ANY DESIGN & INSPECTION AFFIDAVITS ENERGY CONSERVATION DATA AND NARRATIVES AS REQUIRED PER 2015 IBC, 2015 IECC AND THE AMENDMENTS TO CHAPTER 13 OF THE MASSACHUSETTS STATE BUILDING CODE (M.S.B.C.), NINTH EDITION.
- 3.) THE G.C. SHALL SEAL ALL THROUGH-WALL & FLOOR PENETRATIONS WITH 3M BARRIER CAULK AND SEALANT ON USG SAFING- 2500 PSI GROUT @ CMU. INSTALL ANY REQUIRED FIRE RATED PARTITIONS TO UNDERSIDE OF FLOOR OR ROOF DECK INCLUDING DEFLECTION HEAD.
- 4.) THE G.C. SHALL BE RESPONSIBLE FOR DAILY REMOVAL AND LEGAL DISPOSAL OF ALL DEBRIS.
- 5.) THE G.C. SHALL BE RESPONSIBLE FOR ALL PERMITS, AND FEES AS REQUIRED BY THE LOCAL MUNICIPALITY OR UTILITIES
- 7.) THE DRAWINGS ARE NOT TO BE SCALED. ALL WORK, LINES AND LEVELS SHALL BE LAID OUT BY WRITTEN DIMENSIONS. GWB DIMENSIONS ARE FROM FACE TO FACE OF FINISH. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY. ALL DEVIATIONS SHALL BE CORRECTED BY THE CONTRACTOR BEFORE HE BEGINS HIS PORTION OF THE WORK.
- 8.) INSTALL A CONTINUOUS SEALANT BEAD ON BACKER ROD AT ALL JUNCTURES OF DISSIMILAR MATERIALS (E.G.: METAL TO CMU, STEEL TO ALUMINUM) AND ALL MATERIAL JOINTS AS REQUIRED BY THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS, INDUSTRY STANDARDS AND GOOD PRACTICE.
- 9.) COORDINATE SOLID BLOCKING FOR ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES AS PER 521 CMR AAB AS DEFINED FOR STRUCTURAL STRENGTH
- 10.) PROVIDE CONTINUOUS GALVANIZED METAL EDGE TRIM AT ALL GWB WORK.
- 11.) THE G.C. SHALL SUBMIT ALL SHOP DRAWINGS, SAMPLES, CATALOG CUTS ETC., INCLUDING COLOR CHARTS FOR PAINTS AND STAINS FOR ALL EXTERIOR AND INTERIOR FINISHES, TO THE ARCHITECT FOR SELECTION, REVIEW AND APPROVAL PRIOR TO ORDERING, FABRICATION OR INSTALLATION.
- 12.) ALL PARTIES SHALL BE RESPONSIBLE FOR CONFORMING TO 2015 IBC AND AMENDMENTS TO THE M.S.B.C. SECTION 107.6 FOR CONSTRUCTION CONTROL.
- 13.) INSTALL USG .093 (OR APPROVED EQUAL) CONTROL JOINTS @ 30'-0" O.C. MAX. OR AS PER MANUFACTURER'S SUGGESTED DETAILS AND SPECIFICATIONS.
- 14.) PERFORM ALL WORK IN ACCORDANCE WITH THE M.S.B.C. AND ADAAG (WHERE MORE RESTRICTIVE), AS WELL AS ALL LOCAL BY-LAWS, ORDINANCES AND FIRE STATUTES.
- 15.) THE G.C. SHALL INSTALL ALL INTERIOR FINISHES AT ALL SURFACES INDICATED ON THE DRAWINGS IN CONFORMANCE TO M.S.B.C. TABLE 803.4.
- 16.) THE G.C. SHALL INSTALL ALL DOORS HAVING LEVER HARDWARE TO CONFORM TO AAB & ADAAG (WHERE MORE RESTRICTIVE).
- 17.) THE G.C. SHALL COORDINATE WITH THE D/B/ SUB-C'S AND PROVIDE ANY ACCESS PANELS REQUIRED BY CODE.
- 18.) FINISH SLAB-ON-GRADE ELEVATION ASSUMED TO BE 0'-0".
- 19.) FIRE EXTINGUISHER AND CABINET QUANTITIES AND LOCATIONS TO BE COORDINATED WITH THE TOWN OF PLYMOUTH FIRE DEPARTMENT PRIOR TO ORDERING AND INSTALLATION. CONFORM TO 527 CMR FIRE REGS. AND NFPA-10.

**MECHANICAL NOTES**

- 1.) THE D/B HVAC SUB-C SHALL BE RESPONSIBLE FOR PROVIDING ENGINEERING DESIGN DRAWINGS, LAYOUT, SHOP DRAWING SUBMITTALS AND INSTALLATION FOR SUPPLY, RETURN, MAKE-UP AIR & EXHAUST SYSTEMS & CONTROL WIRING, DEVICES & EQUIP. AS REQUIRED BY THE LATEST EDITION OF THE INTERNATIONAL MECHANICAL CODE 2015 M.S.B.C. CHAPTER 13, AS AMENDED FOR ENERGY CONSERVATION. WORK SHALL CONFORM TO LATEST SMACNA & ASHRAE STANDARDS.
- 2.) THE DESIGN/BUILD HVAC SUB-C. SHALL BE RESPONSIBLE FOR CONFORMING TO CH. 13, SECTION 103.6 INCLUDING ALL SEALED AND SIGNED CALCULATIONS AND NARRATIVES.
- 3.) REFER THE PERFORMANCE SPECIFICATIONS ON G003

**PLUMBING NOTES**

- 1.) D/B PLUMBING SUBCONTRACTOR SHALL CONFORM TO ALL STATE CODES, LOCAL CODES, MASS. STATE FUEL GAS & PLUMBING CODE (CMR 248) FOR ALL WORK.
- 2.) D/B SPRINKLER SUBCONTRACTOR SHALL CONFORM TO NFPA 13, MSBC CH. 9, S. 917 AND THE LOCAL FIRE DEPARTMENT REQUIREMENTS AND SHALL COORDINATE THE DESIGN, LAYOUT AND INSTALLATION WITH THE OWNER'S I.S.O. ALSO, SUBMIT NARRATIVE AT TIME OF PERMITTING.
- 3.) D/B SPRINKLER SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN, LAYOUT, INSTALLATION AND CALCULATIONS AND COORDINATION WITH THE LOCAL FIRE DEPARTMENT PRIOR TO INSTALLATION AND SUBMISSION OF STAMPED AND SIGNED DRAWINGS AS WELL AS WATER FLOW & PRESSURE TESTING TO THE LOCAL FIRE DEPARTMENT AS PART OF THE PERMIT SET.

**ELECTRICAL NOTES**

- 1.) THE D/B ELECTRICAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE ELECTRICAL ENGINEERING DESIGN (AS MAY BE REQUIRED BY THE AUTHORITY HAVING JURISDICTION) LAYOUT, SHOP DRAWING SUBMITTALS, AND INSTALLATION TO SUIT THE WORK, INCLUDING CH 13, REQUIREMENTS FOR SECTION 1307 POWER DISTRIBUTIONS AND 1308 LIGHTING SYSTEMS. HE/SHE SHALL COORDINATE POWER WIRING AND CABLING, LIGHTING, DEVICES, EQUIPMENT, RUNS, TERMINATIONS, CIRCUITS AND PANEL LOCATION. COORDINATE ANY SPECIAL ELECTRICAL DEVICES OR EQUIPMENT REQUIREMENTS WITH THE OWNER PRIOR TO WORK.
- 2.) PROVIDE EMERGENCY LIGHTING, EXIT SIGNS AND EXIT LIGHTS AS PER M.S.B.C. SECTION 1006.1 & 1006.3
- 3.) THE G.C. AND D/B ELECTRICAL SUBCONTRACTOR SHALL REVIEW LIGHT FIXTURE CUTS & SPECIFICATIONS WITH ARCHITECT AND OWNER PRIOR ORDERING AND PRIOR TO THE WORK.
- 4.) THE G.C. SHALL COORDINATE THE WORK OF ALL TRADES REGARDING CEILING-MOUNTED AND ABOVE-CEILING-MOUNTED EQUIPMENT, DEVICES AND FIXTURES.
- 5.) THE ELECTRICAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMING TO THE UPGRADES TO NEC & MEC, LATEST EDITIONS, FOR ALL ELECTRICAL WORK.
- 6.) COORDINATE MASTER BOX, KNOX BOX, AND BEACON LOCATIONS WITH THE D/B ELECTRICAL/FIRE ALARM DRAWINGS AND THE TOWN OF PLYMOUTH FIRE DEPARTMENT REQUIREMENTS.

**MISCELLANEOUS:**

- 1.) D/B G.C. TO COORDINATE THE ARCHITECTURAL & STRUCTURAL W/ THE D/B MECHANICAL & ELECTRICAL DWGS. FOR VERIFICATION OF ALL PROJECT REQUIREMENTS.
- 2.) THE G.C. SHALL BE RESPONSIBLE FOR COORDINATING ALL SITE WORK. WITH STAMPED AND SIGNED DRAWINGS BY THE OWNER'S REGISTERED CIVIL ENGINEER AS REQUIRED BY ALL APPLICABLE LOCAL AND STATE DEPARTMENTS
- 3.) REFER TO ENGINEERED SITE PLAN FOR CONTINUATION OF ALL CONC. WALKWAYS, SITE IMPROVEMENTS, HC CURB CUTS, PARKING LAYOUT & STRIPING, INCLUDING HANDICAP SPACES AND HC SIGNAGE, SURFACE & SUBSURFACE UTILITIES, LANDSCAPING, GRADING & LIGHTING.
- 3.) CONFORM TO MSBC, AAB AND ADAAG FOR HANDICAPPED ACCESSIBILITY.

**SITE NOTES:**

- 1.) THE G.C. SHALL BE RESPONSIBLE FOR COORDINATING ALL SITE WORK. WITH STAMPED AND SIGNED DRAWINGS BY THE OWNER'S REGISTERED CIVIL ENGINEER AS REQUIRED BY ALL APPLICABLE LOCAL AND STATE DEPARTMENTS
- 2.) REFER TO ENGINEERED SITE PLAN FOR CONTINUATION OF ALL CONC. WALKWAYS, SITE IMPROVEMENTS, HC CURB CUTS, PARKING LAYOUT & STRIPING, INCLUDING HANDICAP SPACES AND HC SIGNAGE, SURFACE & SUBSURFACE UTILITIES, LANDSCAPING, GRADING & LIGHTING.
- 3.) CONFORM TO MSBC, AAB AND ADAAG FOR HANDICAPPED ACCESSIBILITY.

# GENERAL CODE REVIEW NOTES

**DESCRIPTION**  
Existing 1 story steel & masonry construction building, formerly a full service bank. We base this review of applicable building codes on our experience, and it is our opinion. The Federal Courts, the Fire Department, and the local building inspector have jurisdiction of the respective codes.

**APPLICABLE CODES**  
IBC 2015 (referenced for this review)  
MA 9th Edition Amendments (referenced for this review)  
Stretch Energy Appendix AA  
MAAB 521 CMR 1/27/06 (referenced for this review)  
IMC 2009  
MA Fire Prevention Regulations 527 CMR 1/1/15, 2012 NFPA 1 and MA Amendments  
MA Fuel Gas and Plumbing Code 248 CMR 8/17/12  
MA Electrical Code 2008 (Amendments) 527 CMR 12, amending the NFPA-70 2011

**ENERGY**  
PLYMOUTH has adopted the Stretch Energy Code as of 6/19/17, so Chapter 13 applies for existing buildings, and for new buildings other than R and large commercial buildings (AA103.3, AA104). Chapter 13 requires for commercial buildings either ASHRAE 90.1-2013 modified for electric and mechanical systems, or IECC 2015 Sections C402 to 406. COMCheck is allowed (C402.6).

**Air barrier:** provide continuous and sealed as required in 5.4.3.1

Window and door assemblies including skylights leakage to be <= 2 cfm/sf per test listed, except for garage doors 1.3, storefront glazing .06, and storefront doors 1.0 (502.4.1, 2). Loading dock and cargo door weathersels: provide (5.4.3.3).

Vestibules are required for all building entrances. Doors opening into spaces <3,000 SF separate from the entrance need no vestibule (exception 7).

Vapor barriers to be provided on interiors of walls, except not required where moisture or its freezing will not damage the materials, thus NA (502.5 amendment).

MAAB: Portions of this building are open to the public, so MAAB does apply.

# PARTITION TYPES (not all types may be used)

**1 TYPICAL FULL HEIGHT PARTITION**  
SCALE: 3/4" = 1'-0" UL DES. NO.: N/A STC RATING: N/A  
1A SAME AS TYPE 1 W/ 5/8" MRGWB ON WET SIDES 1B SAME AS TYPE 1 WITH 6" MTL STUDS 16" O.C. W/ 5/8" MRGWB ON BOTH SIDES

**2 TYPICAL LOW HEIGHT PARTITION**  
SCALE: 3/4" = 1'-0" UL DES. NO.: N/A STC RATING: N/A  
2A SAME AS TYPE 2 W/ 5/8" MRGWB ON WET SIDES 2B SAME AS TYPE 2 WITH 6" MTL STUDS 16" O.C. W/ 5/8" MRGWB ON BOTH SIDES

**3 FURRED OUT PARTITION**  
SCALE: 3/4" = 1'-0" UL DES. NO.: N/A STC RATING: N/A  
3A SAME AS TYPE 3, SUBSTITUTE 5/8" MRGWB ON WET SIDE

**4 2-HOUR MASONRY WALL**  
SCALE: 3/4" = 1'-0" UL DES. NO.: U-905 STC RATING: N/A  
4A SAME AS TYPE 3, SUBSTITUTE 5/8" MRGWB

**5 1-HR RATED G.W.B. SHAFT-WALL**  
SCALE: 3/4" = 1'-0" UL DES. NO.: U419 OR U465 (SIM.) STC RATING: N/A  
5A SAME AS TYPE 5 W/ ADD'L LAYER 5/8" MRGWB ON WET SIDE 5B SAME AS TYPE 5 WITH 6" MTL STUDS 16" O.C.

**6 2-HR RATED G.W.B. SHAFT-WALL**  
SCALE: 3/4" = 1'-0" UL DES. NO.: UXXX OR UXXX(SIM.) STC RATING: N/A

**7 TYPICAL PLUMBING WALL PARTITION**  
SCALE: 3/4" = 1'-0" UL DES. NO.: N/A STC RATING: N/A  
7A SAME AS TYPE 7 W/ 5/8" MRGWB ON WET SIDES 7B SAME AS TYPE 7 WITH 6" MTL STUDS 16" O.C. W/ 5/8" MRGWB ON BOTH SIDES

**8 MASONRY WALL**  
SCALE: 3/4" = 1'-0" UL DES. NO.: STC RATING: N/A  
8A SAME AS TYPE 8, NO GWB FURRING

\*\*\* 7/29/21 - PERMIT/CONSTRUCTION SET \*\*\*

PROJECT  
**Office Space Renovations - See Plymouth**  
4 North Street  
Plymouth MA 02360

CLIENT  
See Plymouth  
4 North Street  
Plymouth MA 02360  
Tel: 508 747 0100  
Contact: Lea Floun  
lea.floun@r2architects.com

SEAL

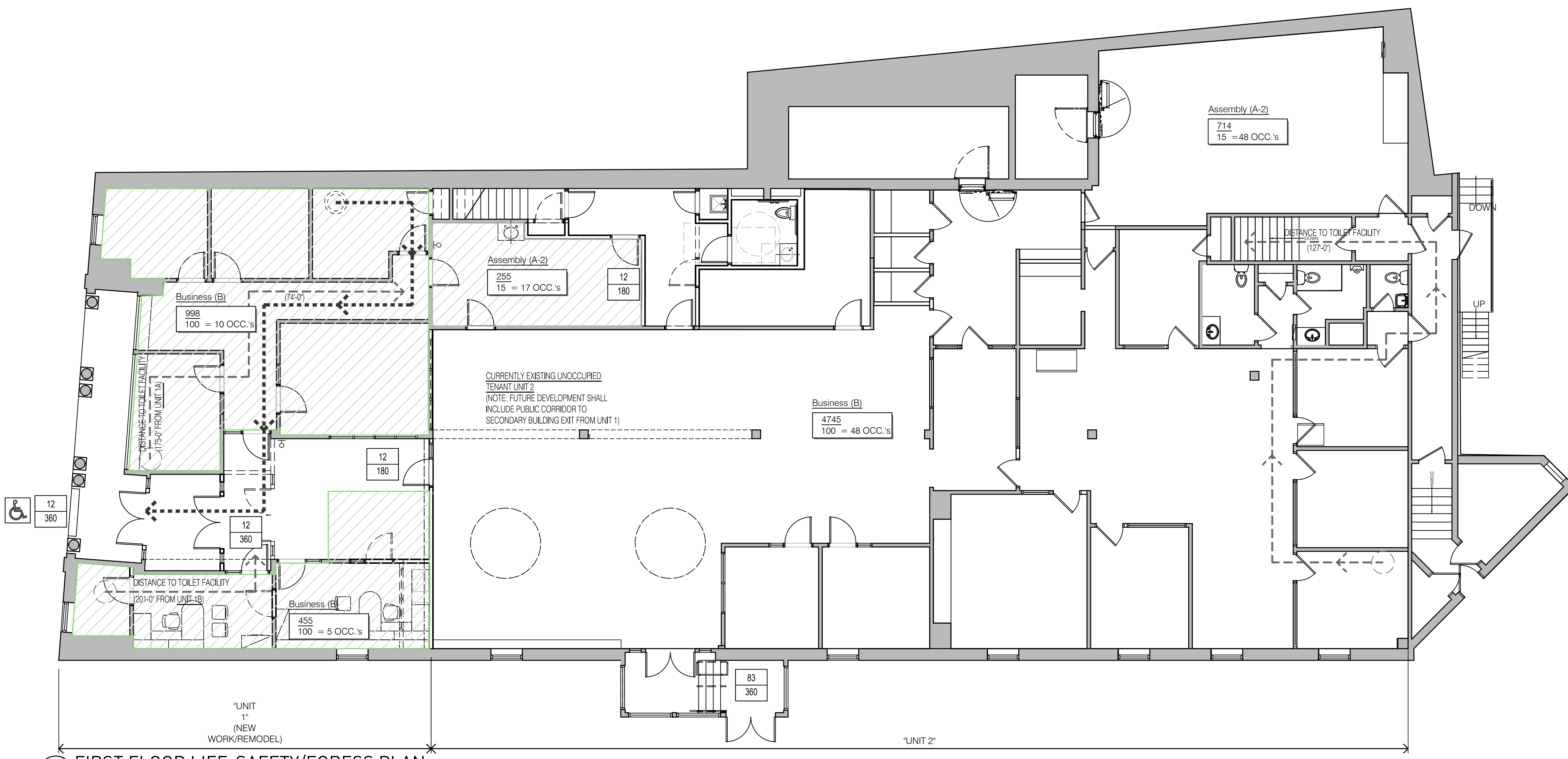
7/29/21	PERMIT/CONSTRUCTION		
7/27/21	ADD/REV. 1 - PRICING SET		
NO.	DATE	REVISION	BY

**R2 ARCHITECTS Inc.**  
508-746-6666  
r2arch.com  
91 Somerset Street  
Plymouth, MA 02360

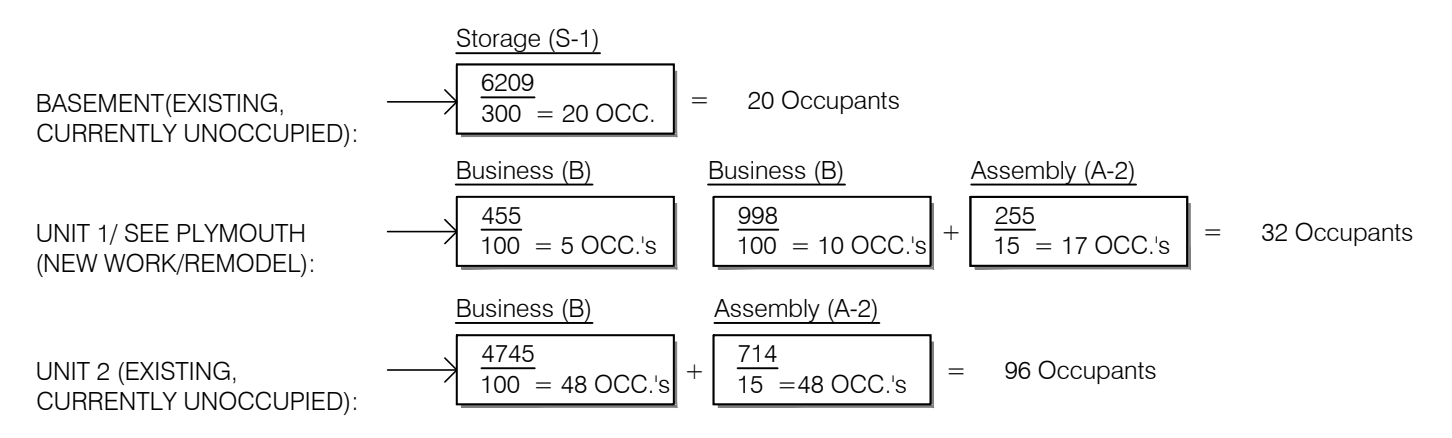
PROJECT MOR: JW  
CHECKED BY: JW/RFR  
JOB NO: 20710.1  
DRAWN BY: JW  
SCALE: AS NOTED  
DATE: 7/29/21  
WWW TITLE: DESIGN-BUILD NOTES & PARTITION TYPES  
SHEET NO: G002



\Acadp\20210\_PBD\Drawing Files\Con\_Docs\20210.1 - See Plymouth\_CDA\20210.1 - CR001\_CODE REVIEW & EGRESS PLANS.dwg Jul 28, 2021 - 5:25 pm - J.WILSON



**1 FIRST FLOOR LIFE-SAFETY/EGRESS PLAN**  
 SCALE: 1/8" = 1'-0"



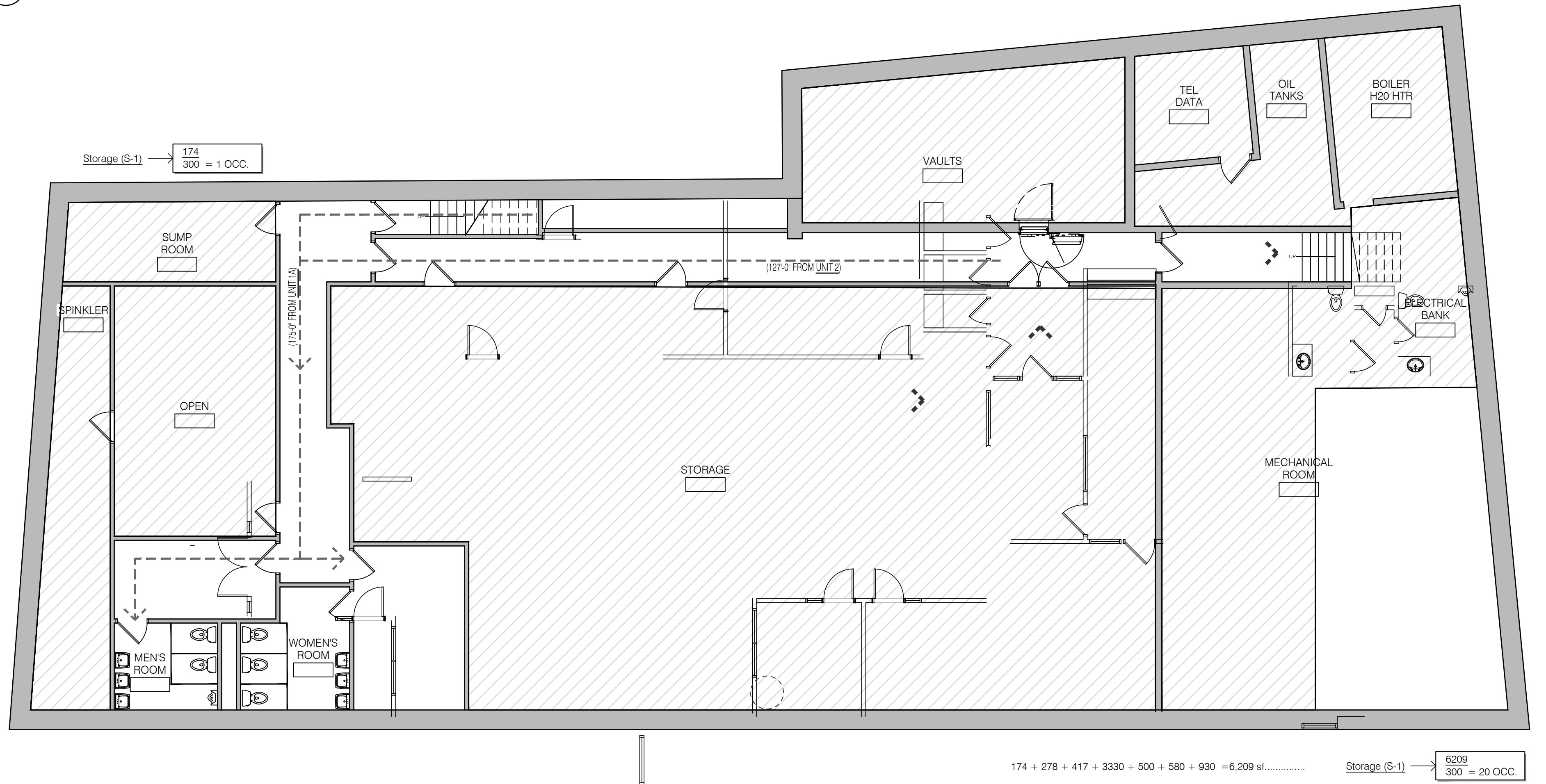
First Floor Occupancy: 128 Occupants  
 Basement Occupancy: 20 Occupants  
 Total Occupancy: 148 Occupants  
 (148/2 = 74 men, 74 women)

**248 CMR 10.10 Table 1: Employee (Non-Industrial) reqts.:**  
 Toilets: 1 per 20 Females - 74/20 = 4 toilets req'd.  
 Toilets: 1 per 25 Males - 74/25 = 3 toilets req'd.  
 Total Req'd.: 7 toilets

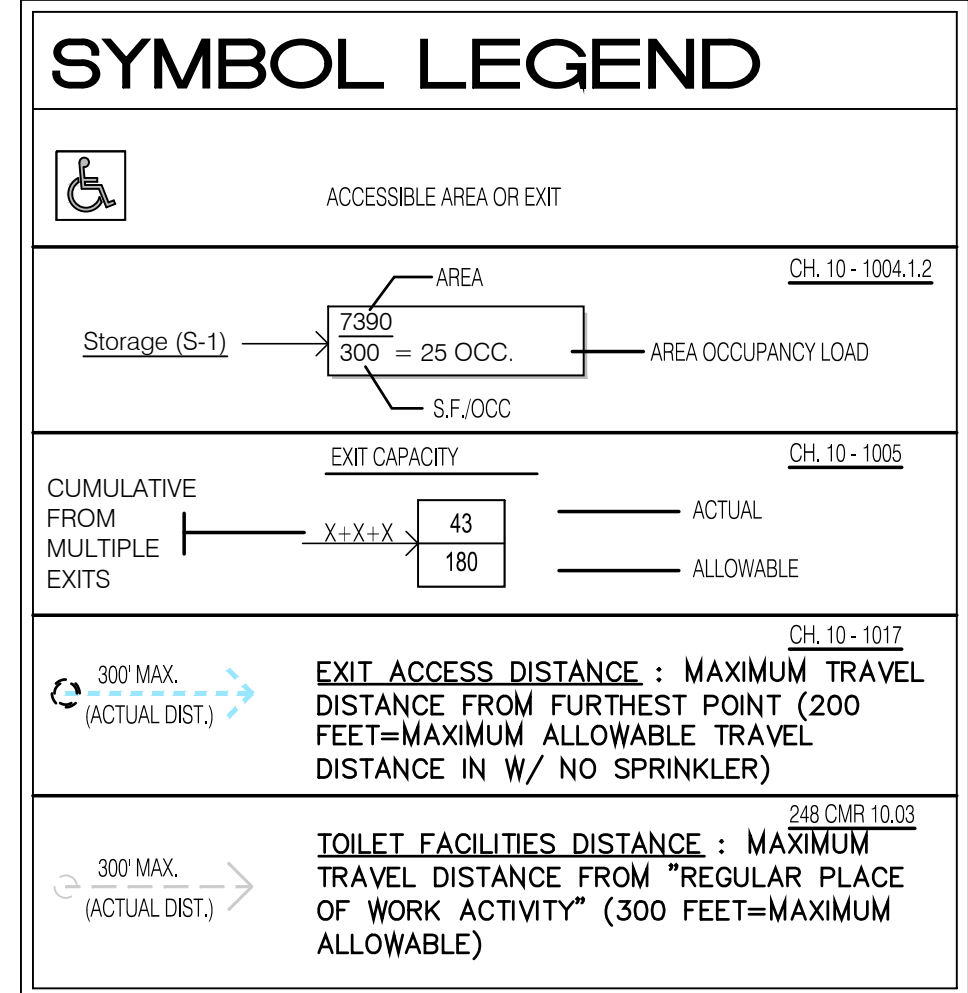
**Toilet count:**  
 First Floor: 5  
 Basement Level: 6  
 Total Provided: 11

**248 CMR 10.10 (i)**  
 1. In each establishment where people are employed, there shall be separate toilet facilities for male and female employees. The toilet facilities shall be located in the tenant establishment and shall be plainly designated for male or females.  
 2. Toilet facilities in establishments referred to in 248 CMR 10.10(18)(i) 1. within two branch levels shall be acceptable. Toilet facilities shall not be required for mezzanines. See 248 CMR 10.03. In no case may a toilet facility be located more than 300 feet in developed direct distance away from the regular place of daily work activity of any person for whose use it is required. Except where elevators accessible to the employees are provided.

**521 CMR 30.00: PUBLIC TOILET ROOMS**  
 30.1 GENERAL  
 Each public toilet room provided on a site or in a building shall comply with 521 CMR. a. In each adult public toilet room, at least one water closet and one sink in each location shall be accessible to persons in wheelchairs.



**1 BASEMENT LEVEL LIFE-SAFETY/EGRESS PLAN**  
 SCALE: 1/8" = 1'-0"



\*\*\* 7/29/21 - PERMIT/CONSTRUCTION SET \*\*\*

**PROJECT**  
 Office Space Renovations -  
 See Plymouth  
 4 North Street  
 Plymouth MA 02360

**CLIENT**  
 See Plymouth  
 4 North Street  
 Plymouth MA 02360  
 Tel: 508 747 0100  
 Contact: Lea Fison  
 lea.fison@seeplymouth.com



7/29/21	PERMIT/CONSTRUCTION		
1/22/21	ADD 17REV.1 - PRICING SET		
NO.	DATE	REVISION	BY

**R2 ARCHITECTS Inc.**  
 508-746-6666  
 r2arch.com  
 91 Somerset Street  
 Plymouth, MA 02360

**PROJECT MGR** JW  
**CHECKED BY** JW/RFR  
**JOB NO** 20710.1  
**DRAWN BY** JW  
**SCALE** As Noted  
**DATE** 7/29/21  
**ISSUE TITLE** CODE REVIEW & EGRESS PLANS

**SHEET NO**  
 CR001

# DEMOLITION SPECIFICATIONS:

- 1. GENERAL
  - 1.A. SUBMIT FOR APPROVAL SELECTIVE DEMOLITION SCHEDULE, INCLUDING SCHEDULE AND METHODS FOR CAPPING AND CONTINUING UTILITY SERVICES.
  - 1.B. USE ADEQUATE NUMBERS OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK OF THIS SECTION.
  - 1.C. ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE DIVISION OF INDUSTRIAL SAFETY, OSHA, 29 CMR 10 AND ALL OTHER LOCAL, STATE AND FEDERAL AGENCIES AND AUTHORITIES HAVING JURISDICTION.
  - 1.D. THE DEMOLITION CONTRACTOR SHALL COORDINATE AND BE RESPONSIBLE FOR ALL TOWN OF PLYMOUTH & STATE OF MASSACHUSETTS REQUIREMENTS FOR PROTECTION OF PERSONS, PROPERTY, TRAFFIC, CONTROL, BARRICADES, TEMP. LIGHTING, ETC. FOR THE DURATION OF THE DEMOLITION CONTRACT.
  - 1.E. GENERAL CONTRACTOR TO PROVIDE AND COORDINATE A SCHEDULE FOR DEMOLITION WITH SPECIFIC ITEMS TO CONFORM WITH SCHEDULING FOR OTHER TRADES REQUIRED TO COMPLETE OR PERFORM A DIRECTLY RELATED PORTION OF WORK. THE G.C. SHALL COORDINATE WITH OWNER AND ABUTTERS REGARDING DEMOLITION, NOISE, INTRUSIVE LIGHTING, ETC. PRIOR TO CONSTRUCTION AT A PRE-CONSTRUCTION CONFERENCE.
- 2. HANDLING
  - 2.A. WHEN THE NATURE OF DEMOLITION WORK REQUIRES THEIR USE, ERECT AND MAINTAIN DUST CHUTES & BARRIERS FOR THE DISPOSAL OF MATERIALS, RUBBISH, AND DEBRIS.
  - 2.B. REMOVE AND SALVAGE DEBRIS FROM THE SITE AS IT ACCUMULATES ON A DAILY BASIS. DO NOT STORE, SELL, BURN, OR OTHERWISE DISPOSE OF DEBRIS ON THE SITE. REMOVE ALL MATERIALS IN SUCH A MANNER AS TO PREVENT SPILLAGE. KEEP ALL PAVEMENTS AND AREAS ADJACENT TO AND LEADING FROM THE SITE, CLEAN AND FREE OF MUD, DIRT, AND DEBRIS AT ALL TIMES. ALL MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER OFF-SITE.
  - 2.C. ERECT AND MAINTAIN TEMPORARY BRACING, SHORING, LIGHTS, PARTITIONS, BARRICADES, WARNING SIGNS, LIGHTS, AND GUARDS NECESSARY TO PROTECT ADJACENT BUILDING OCCUPANTS, AND WORKERS FROM INJURY, AND/OR DAMAGE, ALL IN ACCORDANCE WITH APPLICABLE RULES AND REGULATIONS.
  - 2.D. DO NOT DAMAGE BUILDING ELEMENTS AND IMPROVEMENTS INDICATED TO REMAIN. ITEMS OF SALVAGE VALUE WHICH ARE NOT INCLUDED ON SCHEDULE OF SALVAGE ITEMS TO BE RETURNED

- TO OWNER SHALL BE REVIEWED WITH OWNER AS TO WHETHER THEY CAN BE REMOVED FROM THE PREMISES. STORAGE OR SALE OF ITEMS AT PROJECT SITE IS PROHIBITED. DEMOLISHED MATERIAL SHALL BE COMPLETELY REMOVED FROM THE SITE AND DISPOSED OF USING LEGAL METHODS.
- 2.E. DO NOT CLOSE OR OBSTRUCT THE MEANS OF EGRESS, CORRIDORS, OR OTHER OCCUPIED SPACES. REVIEW ANY SEQUENCE OR PHASING ISSUES W/ BKA ARCHITECTS AND OWNER'S PROJECT REPRESENTATIVE. DO NOT INTERRUPT UTILITIES WITHOUT THE WRITTEN PERMISSION OF THE OWNER OR AUTHORITIES HAVING JURISDICTION. IF NECESSARY, PROVIDE TEMPORARY UTILITIES.
- 2.F. CEASE OPERATIONS IF PUBLIC SAFETY OR REMAINING STRUCTURES ARE ENDANGERED. PERFORM TEMPORARY CORRECTIVE MEASURES UNTIL OPERATIONS CAN BE CONTINUED PROPERLY.
- 3. SEQUENCING AND EXECUTION
  - 3.A. AFTER CAREFUL STUDY OF THE CONTRACT DOCUMENTS, DETERMINE THE LOCATION AND EXTENT OF SELECTIVE DEMOLITION TO BE PERFORMED.
  - 3.B. VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED PRIOR TO STARTING THE WORK.
    - 3.B.1. CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION.
    - 3.B.2. MARK INTERFACE SURFACES AS REQUIRED TO ENABLE WORKMAN TO ALSO IDENTIFY ITEMS TO BE REMOVED, ITEMS TO BE LEFT IN PLACE INTACT, ITEMS TO BE SALVAGED AND/OR FOR REUSE AND RELOCATION, AND ITEMS TO BE REMOVED AND SORTED FOR RECYCLING.
  - 3.C. PREPARE AND FOLLOW AN ORGANIZED PLAN FOR DEMOLITION AND REMOVAL OF ITEMS.
    - 3.C.1. SHUT OFF, CAP, AND OTHERWISE PROTECT EXISTING UTILITY LINES IN ACCORDANCE WITH THE REQUIREMENTS OF THE PUBLIC AGENCY OR UTILITY HAVING JURISDICTION. NOTIFY DIG-SAFE AND TOWN OF PLYMOUTH PRIOR TO EXCAVATION.
    - 3.C.2. COMPLETELY REMOVED ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED, LEAVING SURFACES CLEAN, SOLID, AND READY TO RECEIVE NEW MATERIALS SPECIFIED ELSEWHERE. IN ALL ACTIVITIES, COMPLY WITH PERTINENT REGULATIONS & GOVERNMENTAL AGENCIES HAVING JURISDICTION.
  - 3.D. USE MEANS NECESSARY TO PREVENT DUST BECOMING A NUISANCE TO WORKERS IN THE BUILDING, THE PUBLIC, NEIGHBORING BUILDINGS, AND TO OTHER WORK BEING PERFORMED.
  - 3.E. SCHEDULE & EXECUTE DEMOLITION WORK TO ENSURE SAFETY OF PERSONS AND ADJACENT PROPERTY AGAINST DAMAGE BY WIND-BLOWN OR FALLING DEBRIS.
  - 3.F. IN THE EVENT DEMOLITION OF ITEMS NOT SO SCHEDULED TO BE DEMOLISHED, PROMPTLY REPLACE SUCH ITEMS TO THE APPROVAL OF THE ARCHITECT AT NO ADDITIONAL INCREASE IN

- COST OR TIME TO THE OWNER.
- 3.G. WHERE EXISTING CONSTRUCTION TO REMAIN IS AFFECTED BY DEMOLITION OR INSTALLATION OF NEW WORK, PATCH, REPAIR OR REPLACE THE WORK AT SURFACES WHICH HAVE BEEN DAMAGED AND FINISH TO MATCH EXISTING (T.M.E.) ADJACENT CONSTRUCTION.
- 3.H. FINISH NEW AND EXISTING SURFACES AS SCHEDULED. CLEAN EXISTING SURFACES OF DIRT, GREASE, AND LOOSE PAINT BEFORE REFINISHING.
- 3.I. COORDINATE THE REMOVAL, RELOCATION, REPLACEMENT, RE-USE, SHUT-OFF, STUB-OFF, CAPPING-OFF, OR UPGRADING OF ALL EXISTING, PLUMBING, HVAC, FIRE ALARM, SECURITY AND ELECTRICAL SYSTEMS, EQUIPMENT, AND APPURTENANCES - INCLUDING, BUT NOT LIMITED TO, UTILITY LINES, DUCTS, CONNECTIONS, PANELS, VENTS, FANS, PIPING, DEVICES, CONTROLS, OUTLETS, AND CONDUIT DURING CONSTRUCTION AS REQUIRED, AS SCHEDULED, OR AS SPECIFIED IN ACCORDANCE WITH ALL LOCAL, MUNICIPAL AND STATE CODES TO SUIT THE WORK.
- 4. SCOPE
  - 4.A. ITEMS TO BE DEMOLISHED AND REMOVED - INCLUDING BUT NOT LIMITED TO:
    - 4.A.1. ITEMS AS DELINEATED ON IN THE DRAWINGS AND NOTES HEREIN
  - 4.B. REMOVAL OF HAZARDOUS MATERIALS:
    - 4.B.1. IN THE EVENT THAT HAZARDOUS MATERIALS ARE UNCOVERED DURING DEMOLITION WHICH HAVE NOT BEEN RENDERED HARMLESS, THE G.C. SHALL IMMEDIATELY STOP WORK IN THE AREA AFFECTED AND REPORT THE CONDITION TO THE OWNER AND ARCHITECT IN WRITING. WORK SHALL NOT BE RESUMED UNTIL THE MATERIAL IS RENDERED HARMLESS.
    - 4.B.2. G.C. SHALL COORDINATE THE HIRING OF A TESTING AGENCY WITH THE OWNER. THE OWNER SHALL CONTRACT WITH THE TESTING AGENCY DIRECTLY. THE G.C. SHALL IDENTIFY THE SUSPECT MATERIAL FOR THE AGENCY AND COORDINATE THE TESTING WITH HIS WORK AND THE CONSTRUCTION SCHEDULE. G.C. FORWARD ALL TESTING REPORTS AND DOCUMENTATION INDICATING REMOVAL OF HAZARDOUS MATERIALS TO OWNER AND ARCHITECT.
    - 4.B.3. IN THE EVENT THE TESTING RESULTS INDICATE A HAZARDOUS MATERIAL. THE G.C. SHALL COORDINATE THE HIRING OF AN ABATEMENT COMPANY WITH THE OWNER. THE OWNER SHALL CONTRACT DIRECTLY WITH THE ABATEMENT COMPANY. THE G.C. SHALL COORDINATE THE ABATEMENT WITH HIS WORK AND THE CONSTRUCTION SCHEDULE. FINAL ABATEMENT REPORTS INDICATING THE REMOVAL OF HAZARDOUS MATERIALS SHALL BE FORWARDED TO THE OWNER AND THE ARCHITECT.

\*\*\*7/29/21 - PERMIT/CONSTRUCTION SET\*\*\*

PROJECT  
**Office Space Renovations - See Plymouth**

CLIENT  
See Plymouth  
4 North Street  
Plymouth MA 02360  
Tel: 508 747 0100  
Contact: Lea Fison  
lea.fison@seeplymouth.com

4 North Street  
Plymouth MA 02360



7/29/21	PERMIT/ CONSTRUCTION		
7/27/21	ADD 1/REV.1 - PRICING SET		
NO.	DATE	REVISION	BY

**R2 ARCHITECTS Inc.**  
508.744.4646  
r2arch.com

91 Samoset Street  
Plymouth, MA 02360

PROJECT MGR: JW  
JOB NO: 20710.1  
SCALE: As Noted  
DATE: 7/29/21

CHECKED BY: JW/RFR  
DRAWN BY: JW  
DATE: 7/29/21

DWG TITLE: DEMOLITION NOTES & SPECIFICATIONS

SHEET NO: D000

**DEMOLITION KEY NOTES**

- 1 REMOVE ALL DOORS & FRAMES WHERE SHOWN-TYPICAL
- 1A REMOVE DOOR & HARDWARE ONLY; FRAME TO REMAIN
- 2 REMOVE ALL WALLS WHERE SHOWN, INCLUDING ANY FIXED GLAZING WITHIN
- 3 REMOVE CARRELS & ASSOCIATED MILLWORK
- 4 DEMO ALL ASSOCIATED MEP (COORDINATE MEP DEMO. WITH D/B MEP DRAWINGS). REFER TO MECHANICAL PERFORMANCE SCOPE OF WORK
- 5 DEMO EXISTING CEILING FINISHES/ITEMS THAT WILL CONFLICT WITH NEW WORK

- 6 REMOVE EXISTING PLUMBING FIXTURES, COORDINATE UTILITY REMOVAL W/ FLOOR PLAN IF NOT TO BE RE-USED
- 7 EXISTING VAULT DOORS TO REMAIN; RENDER THEM INOPERABLE IN THE OPEN POSITION; GATES MAY BE REMOVED TO ASSIST W/ NOTE 8
- 8 REMOVE INTERIOR VAULT ITEMS (SAFES, SECURITY DEPOSIT BOXES, ETC.); USE QUALIFIED PERSONNEL & EQUIPMENT FOR REMOVAL
- 9 EXISTING MILLWORK & BUILT-IN CABINETS TO REMAIN
- 10 WORK LIMITED TO SCOPE NECESSARY TO PERFORM NEW WORK IN REMAINING AREAS; OTHERWISE, ALL TO REMAIN
- 11 REMOVE CEILING IN ITS ENTIRETY W/IN SHADED AREA TO EXPOSE & ACCESS MECHANICAL SYSTEMS ABOVE


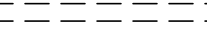



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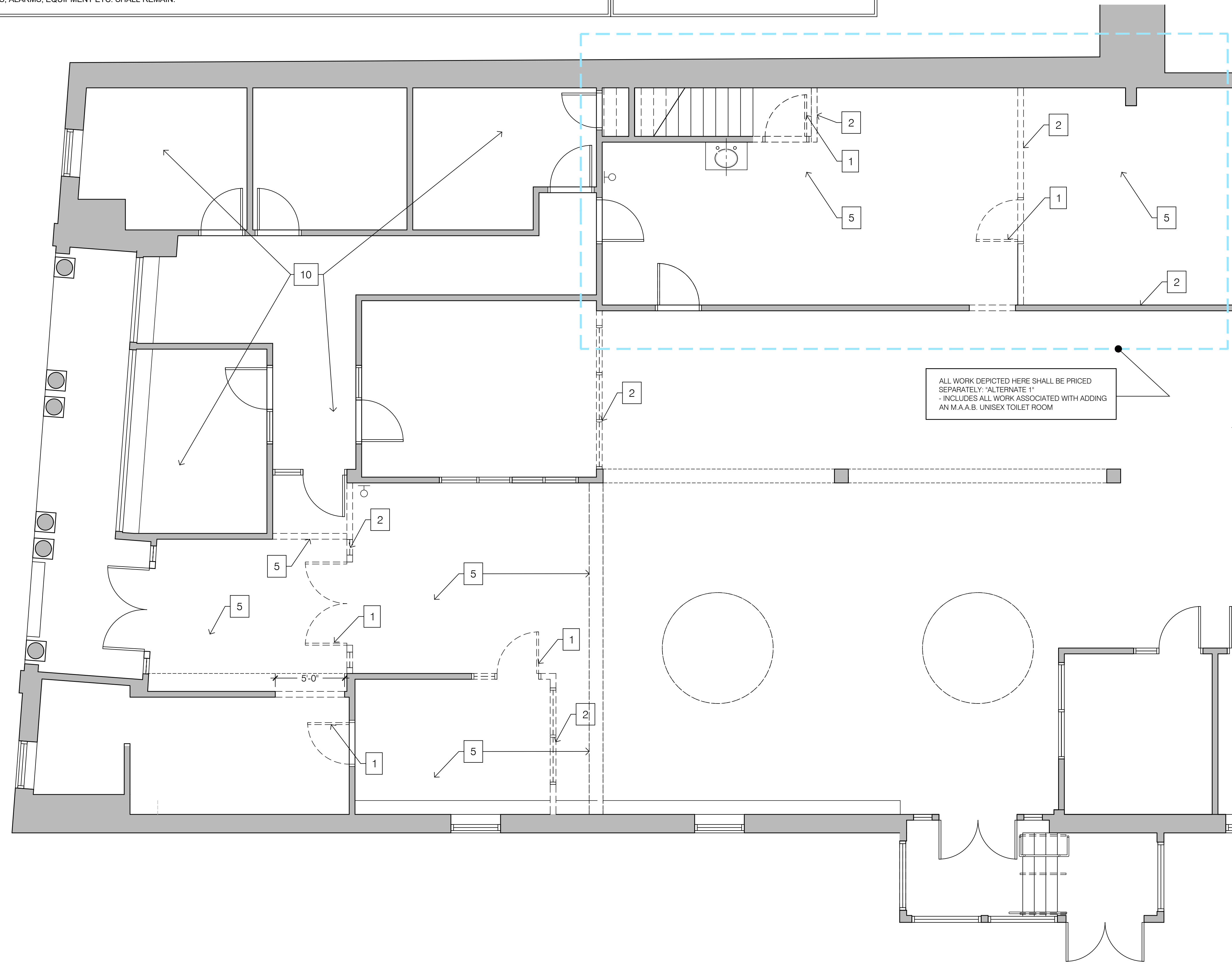
- 1. COORDINATE ADDITIONAL DEMOLITION WORK REQUIRED BY MECH., ELECT. AND PLUMBING WITH MEP DEMO DRAWINGS. G.C. TO PATCH AND REPAIR ALL AREAS AFFECTED BY MEP DEMO WORK TO MATCH ADJACENT CONST. AND FINISH. - TYP.
- 2. THE G.C., DEMO SUB-C, AND MEP/FP SUB-C'S SHALL VISIT THE SITE TO DETERMINE WHAT DEVICES, ALARMS, EQUIPMENT ETC. SHALL REMAIN.

**GENERAL DEMO NOTES**

- 1. PREP WALLS, DOORS, ETC. TO REMAIN FOR NEW FINISHES
- 2. REMOVE BROKEN, STAINED ACT PANELS AT CEILINGS TO REMAIN
- 3. REMOVE SELECTIVE LIGHT FIXTURES & ELECTRICAL TO EXTENT NOTED ON DRAWING. CAP OFF AS REQ'D. IN SAFE CODE COMPLIANT MANNER. COORDINATE WITH D/B MEP ENG. DWGS.
- 4. COORDINATE THE REMOVAL AND RELOCATION OF SPRINKLER HEADS AND ASSOC. PIPING WHICH MAY IMPEDE UPON CONSTRUCTION OF NEW WORK. COORD. WITH D/B MEP AND F.P. DRAWINGS
- 5. REMOVE ALL EXISTING CARPET & VCT IN WORK AREAS DOWN TO EXISTING SUBSTRATE OR HARDWOOD FLOORING IN PREPARATION FOR NEW FINISHES, UNLESS NOTED OTHERWISE
- 6. REMOVE EXISTING CROWN MOLDING; SAVE FOR POSSIBLE RE-USE
- 7. REMOVE/SAVE CHAIR RAIL & WAINSCOT; TO BE RE-USED IN UNIT 1

**DEMOLITION SYMBOL LEGEND**

-  EXISTING CONSTRUCTION TO REMAIN, REPAIR AS REQUIRED TO MAINTAIN REQUIRED RATINGS AND ACCEPT FINAL TENANT FINISHES
-  EXISTING CONSTRUCTION TO BE DEMOLISHED
-  EXISTING DOOR AND FRAME ASSEMBLY TO REMAIN
-  EXISTING DOOR AND FRAME ASSEMBLY TO BE DEMOLISHED
-  DEMOLITION NOTES



ALL WORK DEPICTED HERE SHALL BE PRICED SEPARATELY. ALTERNATE #1 INCLUDES ALL WORK ASSOCIATED WITH ADDING AN M.A.A.B. UNISEX TOILET ROOM

\*\*\*7/29/21 - PERMIT/CONSTRUCTION SET\*\*\*

**1 FIRST FLOOR DEMOLITION PLAN**  
SCALE: 3/16" = 1'-0"

**PROJECT**  
Office Space Renovations - See Plymouth  
4 North Street  
Plymouth MA 02360

**CLIENT**  
See Plymouth  
4 North Street  
Plymouth MA 02360  
Tel: 508.747.0100  
Contact: Lea Flinn  
lea.flinn@seeplymouth.com

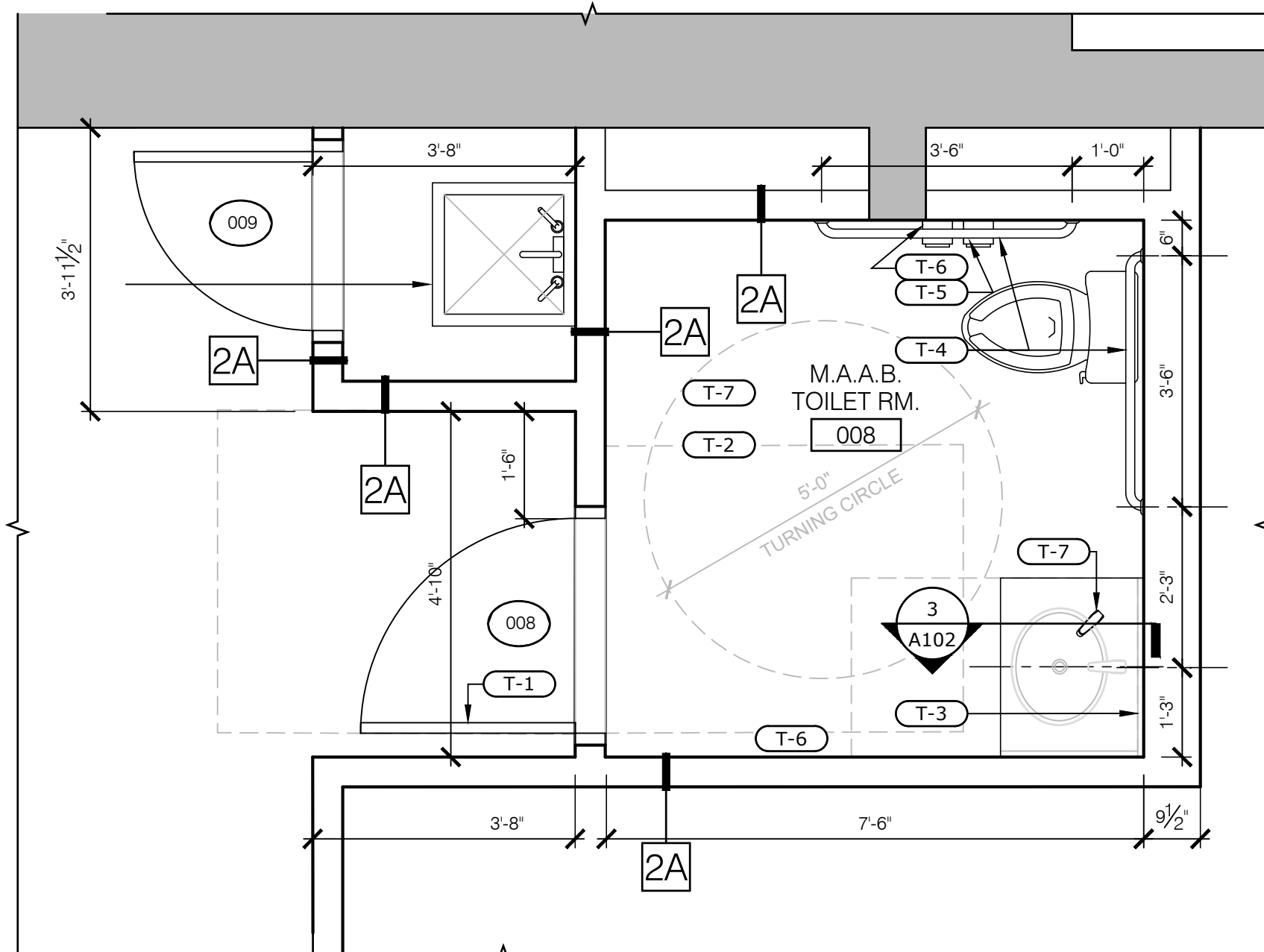
**REGISTERED ARCHITECT**  
ROBERT F. REWER  
No. 382135  
PLYMOUTH MASS  
COMMONWEALTH OF MASSACHUSETTS

NO.	DATE	REVISION	BY
1	7/29/21	PERMIT/CONSTRUCTION	
	7/27/21	ADD/REV. 1 - PRICING SET	

**R2 ARCHITECTS Inc.**  
508.746.4646  
r2arch.com  
91 Samsset Street  
Plymouth, MA 02360

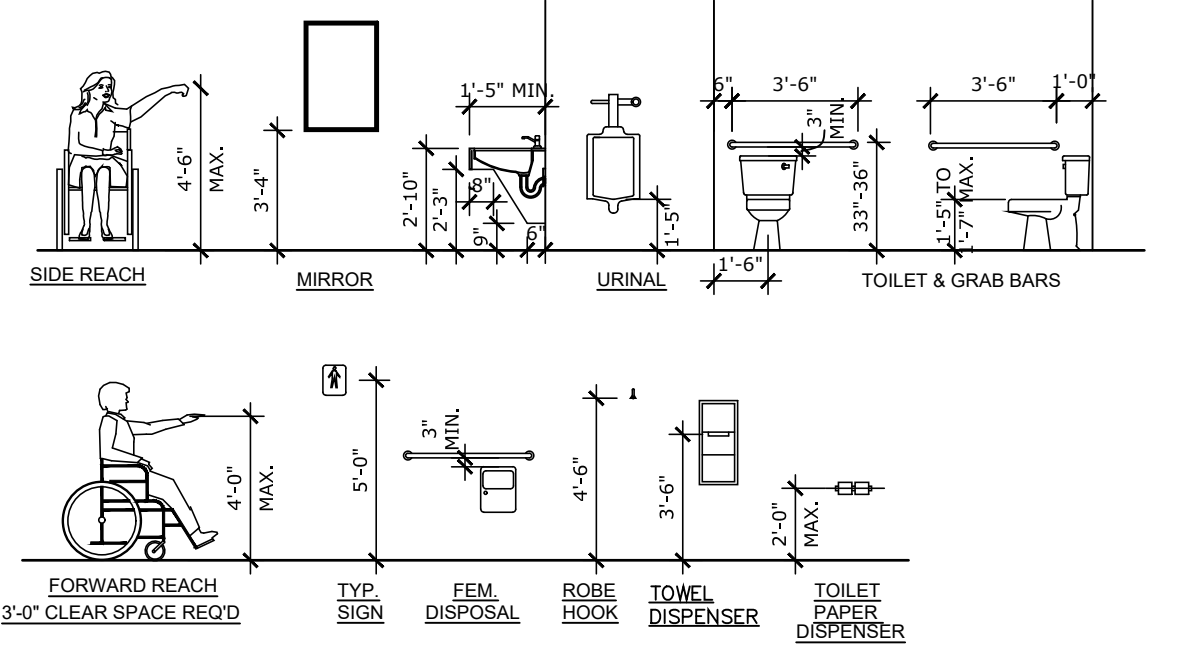
**PROJECT MGR** JW  
**CHECKED BY** JW/RFR  
**JOB NO** 20710.1  
**DRAWN BY** JW  
**SCALE** As Noted  
**DATE** 7/29/21  
**DWG TITLE** DEMOLITION FLOOR PLANS  
**SHEET NO** D100

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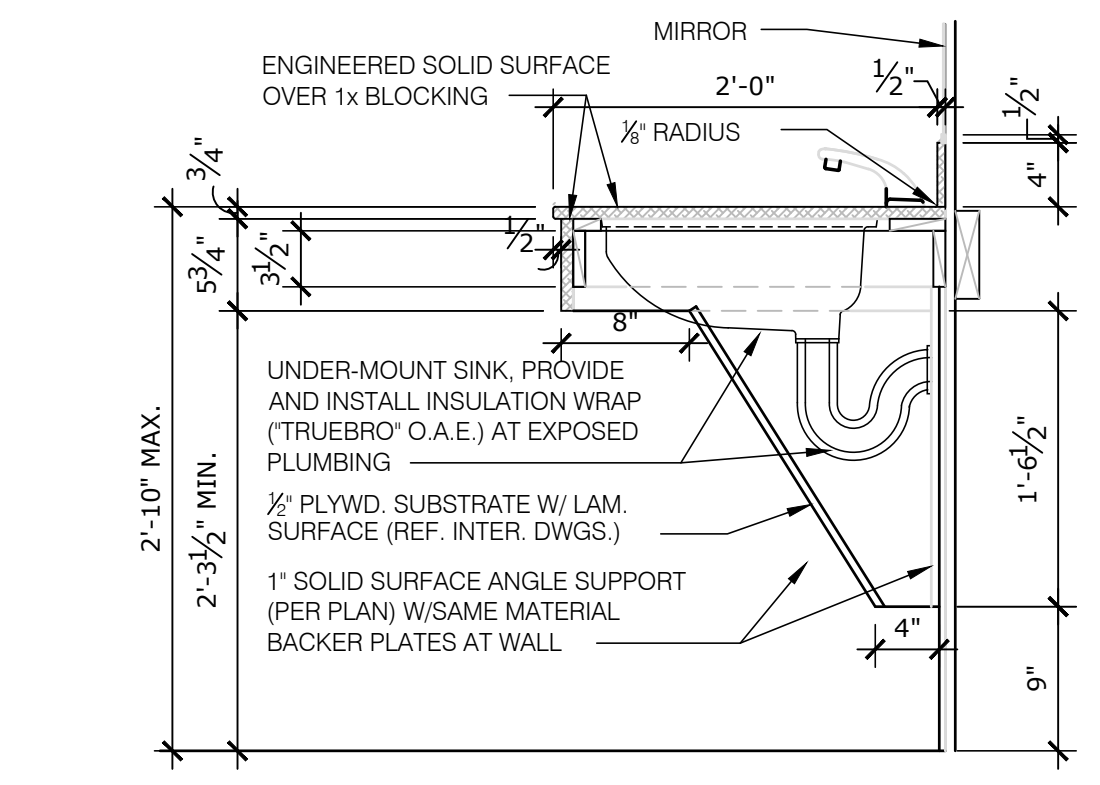
FIXTURE/ACCESSORY SCHEDULE			
NUMBER	ITEM	MFG. NUMBER	FINISH
T-1	COAT HOOK	BOBRICK B-682	SATIN CHROME
T-2	PAPER TOWEL DISPENSER	BOBRICK B-43699	SATIN CHROME
T-3	FRAMED MIRROR	BOBRICK B-165	SATIN CHROME
T-4	1 1/4" TO 1 1/2" MAX. O.D. GRAB BARS W/ CONCEALED FASTENERS	BOBRICK B-5806.99	ACID ETCHED SATIN CHROME
T-5	SANITARY NAPKIN DISPOSAL	BOBRICK B-353	SATIN CHROME
T-6	TOILET TISSUE DISPENSER	BOBRICK B-4288	SATIN CHROME
T-7	SOAP DISPENSER	B-2111	SATIN CHROME
T-8	HAND DRYER	"EXTREME AIR" MOD. #GXT9-M	WWW.RESTROOM-REMODELS.COM

NOTES:  
 1. ALL MOUNTING HEIGHTS AND CLEARANCES ARE BASED ON M.A.A.B. PROVIDE CODE CONFORMING FIXTURES, TRIM, EQUIPMENT DEVICES, ETC.  
 2. PROVIDE ALL BLOCKING AS REQUIRED FOR TOILET ROOM H.C. ACCESSIBILITY TO FIXTURES, INCLUDING BLOCKING AT ALL H.C. TOILETS IN ACCORDANCE WITH M.A.A.B REGULATIONS.  
 3. PROVIDE TRUBRO 5" WRAPS (O.A.E.) AT ALL EXPOSED HOT/COLD WATER SUPPLIES AND PIPES (TYPICAL).  
 4. PROVIDE WALL HYDRANTS & FLOOR DRAINS AS REQUIRED PER STATE PLUMBING CODE. REFER TO PLUMBING DRAWINGS.

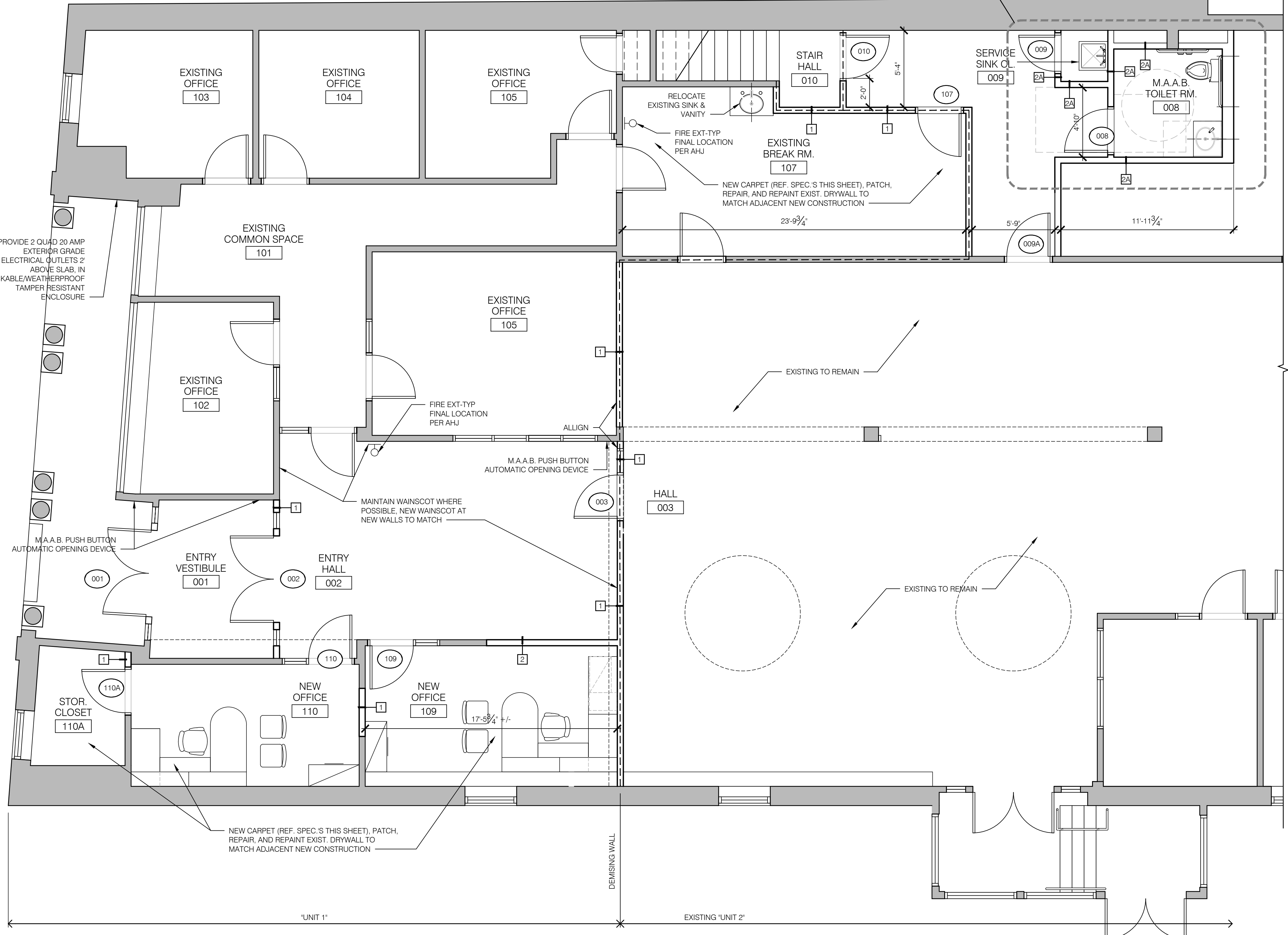


- GENERAL FINISHES:**
- ALL GWB WALLS TO BE PAINTED (COLORS: TBD)
  - INSTALL WHITE FRP AT ALL WALLS @ MOP SINK CLOSET
  - DOORS TO BE STAINED WHERE NOTED IN SCHEDULE
  - HM FRAMES TO BE PAINTED
  - ALL DEVICES (SWITCHES/OUTLETS/PLATES/ETC.) TO BE WHITE
  - INSTALL 6" HIGH RUBBER BASE (COLORS: TBD)
  - CARPET TILES IN ALL HALLWAYS, OFFICES, CONFERENCE ROOMS (CARRY PATCRAFT MID-RANGE FOR PRICING)
  - VCT IN ALL RESTROOMS & BREAK ROOMS/KITCHENETTES
  - WALK-OFF MAT IN VESTIBULES
  - ALL DOOR HARDWARE TO BE US26D

2 UNIT 1 M.A.A.B/ACCESSIBLE TOILET ROOM PLAN  
SCALE: 1/2" = 1'-0"



3 SECTION DETAIL @ VANITY  
SCALE: 1" = 1'-0"



1 FIRST FLOOR CONSTRUCTION PLAN  
SCALE: 1/4" = 1'-0"

\*\*\* 7/29/21 - PERMIT/CONSTRUCTION SET \*\*\*

PROJECT: Office Space Renovations - See Plymouth  
 CLIENT: See Plymouth 4 North Street Plymouth MA 02360  
 CONTACT: Lea Flinn  
 REGISTERED ARCHITECT  
 ROBERT F. REWER  
 No. 382185  
 PLYMOUTH MASS  
 SEAL  

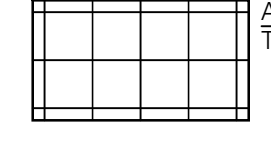
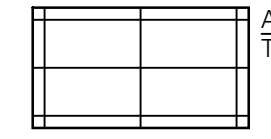
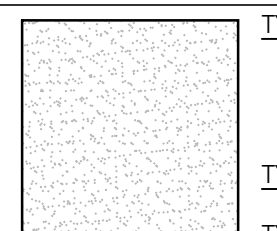
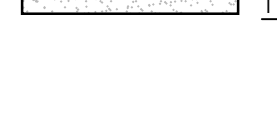
7/29/21	PERMIT/CONSTRUCTION		
7/29/21	ADD/REV. 1 - PRICING SET		
NO.	DATE	REVISION	BY

 R2 ARCHITECTS Inc.  
 91 Samsset Street  
 Plymouth, MA 02360  
 508.744.4646  
 r2arch.com  
 PROJECT MDR: JW  
 CHECKED BY: JW/RFR  
 JOB NO: 20710.1  
 DRAWN BY: JW  
 SCALE: As Noted  
 DATE: 7/29/21  
 WWW TITLE: CONSTRUCTION FLOOR PLAN  
 SHEET NO: A101

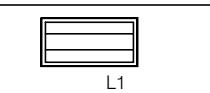
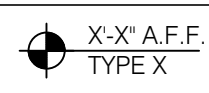
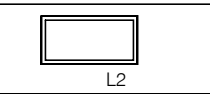

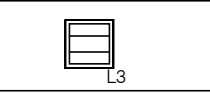
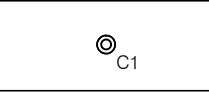
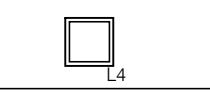
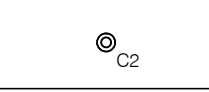
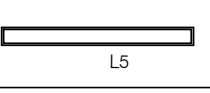
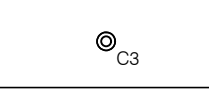
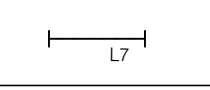
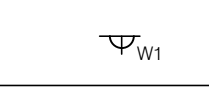
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CEILING TYPE SCHEDULE

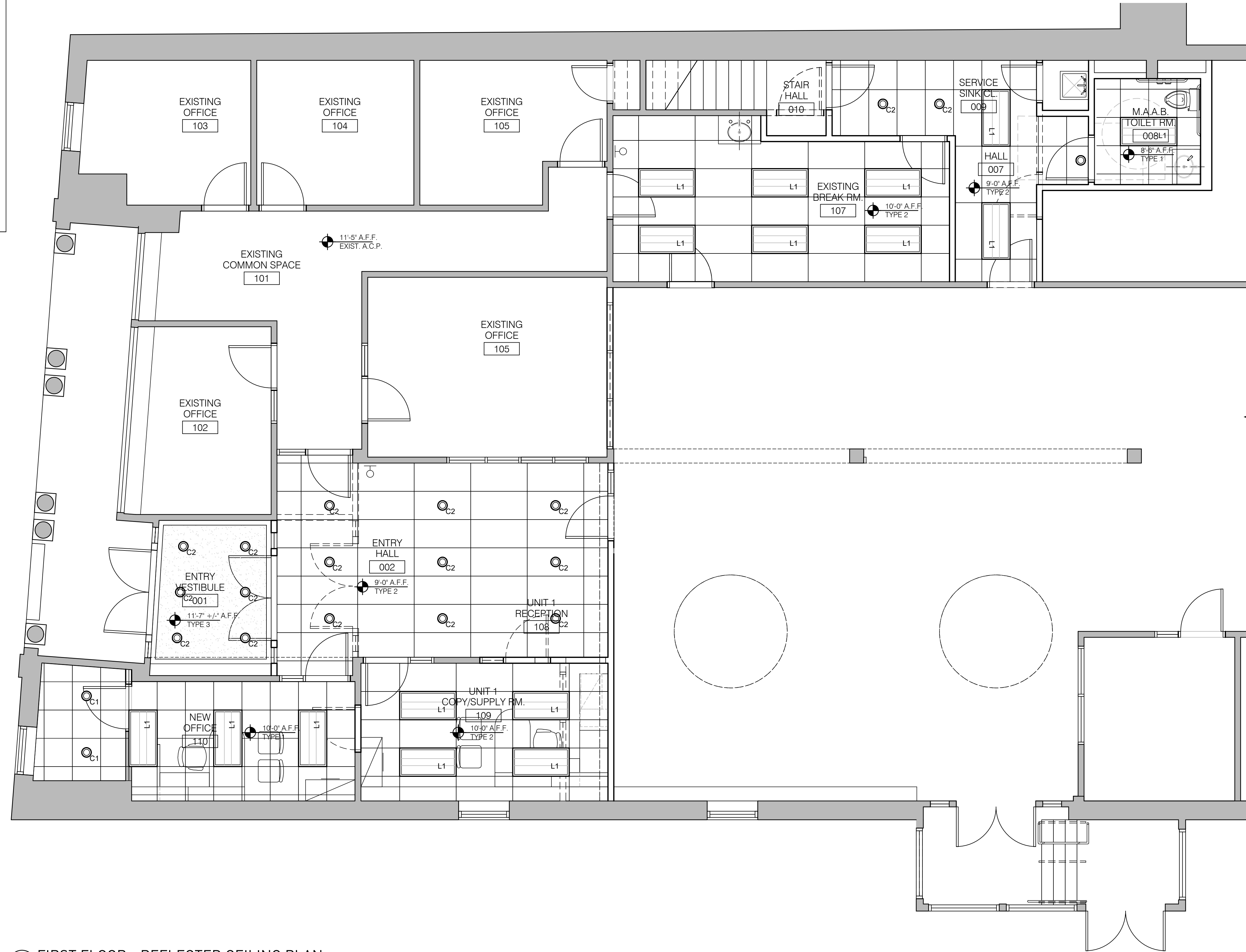
	ACT TYPE 1 2'x4'x1/2" ARMSTRONG - DUNE 'SECOND LOOK' (PATTERN 2) No.: 2711, 1/2" ANGLED REGULAR COLOR: WHITE GRID: 1/2" PRELUDE		ACT TYPE 2 2'x4'x1/2" ARMSTRONG - DUNE No.: 1796, 1/2" SQUARE LAY-IN COLOR: WHITE GRID: 1/2" PRELUDE XL
	TYPE 3: 5/8" PAINTED G.W.B. SUSPENDED ON 1-1/2" STEEL CHANNELS @ 4'-0" ON CENTER MAX. AND 7/8" FURRING CHANNELS @ 2'-0" ON CENTER. TAPE, COMPOUND, SAND, AND PAINT TO FINISH (LEVEL 4 FINISH).		TYPE 3A: SIMILAR TO TYPE 2A WITH 5/8" M.R.G.W.B. SOFFIT / CEILING
	TYPE 3B: PATCH/INFILL & REPAIR EXIST. G.W.B., SAND & PAINT TO FINISH		

REFLECTED CEILING PLAN LIGHTING LEGEND

	24" x 48" DIRECT/INDIRECT L.E.D. FIXTURE: T5H0, 35K		X-X' A.F.F. TYPE X CEILING HEIGHT ABOVE FINISH FLOOR CEILING FINISH/TYPE
	24" x 48" L.E.D. FIXTURE W/ ACRYLIC LENS		DECORATIVE PENDANT
	24" x 24" DIRECT/INDIRECT L.E.D. FIXTURE:		4.5" RECESSED COMPACT L.E.D. FIXTURE W/ WHITE TRIM
	24" x 24" L.E.D. PENDANT UTILITY FIXTURE:		6" RECESSED COMPACT L.E.D. FIXTURE W/ WHITE TRIM:
	8" L.E.D. UTILITY PENDANT FIXTURE (TO REPLACE EXISTING FIXTURES) (*ALTERNATE: INSTALL NEW L.E.D. LAMPING IN EXIST. FIXTURES)		6" SEMI-RECESSED COMPACT L.E.D. FIXTURE W/ WHITE TRIM:
	UNDER-CABINET L.E.D. STRIP LIGHTING FIXTURE		DECORATIVE WALL SCONCE

GENERAL REFLECTED CEILING PLAN NOTES

- LIGHTING SHOWN ON THIS PLAN IS DIAGRAMMATIC AND FOR DESIGN INTENT ONLY. MEP CONTRACTOR TO COORD. FINAL FIXTURE AND EQUIPMENT LOCATIONS, TYPES, REQUIREMENTS AND SPECIFICATIONS.
- THE G.C. SHALL COORDINATE THE WORK OF ALL SUBCONTRACTORS FOR ABOVE-CEILING WORK INCLUDING, BUT NOT LIMITED TO: DUCTWORK, EQUIPMENT, DEVICES, AND CEILING-MOUNTED EQUIPMENT.
- REF. MEP/FP DWGS. FOR FINAL EMERGENCY LIGHT, EXIT SIGN AND LIGHT LOCATIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN LIGHTING LOCATIONS OR TYPE.
- REF. MEP/FP DWGS. TO COORD. SPRINKLER DESIGN, LAYOUT, AND CONFORMANCE TO ALL APPLICABLE CODES.
- MECHANICAL EQUIPMENT IS SHOWN ON THIS SHEET FOR LOCATION ONLY. REFER TO MEP DRAWINGS FOR FIXTURE TYPES, REQUIREMENTS AND SPECIFICATIONS.
- REFER TO THE REFLECTED CEILING PLANS FOR CEILING HEIGHTS.
- INSTALL MATERIALS AND SUSPENSION SYSTEMS IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS, AS WELL AS ASTM C 636. COORDINATE THE INSTALLATION WITH THE MECHANICAL AND ELECTRICAL WORK TO ENSURE PROPER LOCATIONS.
- LEVEL THE CEILING TO WITHIN 1/8" IN 10 FEET IN BOTH DIRECTIONS. SCRIBE AND CUT PANELS TO FIT ACCURATELY. MEASURE AND LAYOUT TO AVOID LESS-THAN-HALF PANEL UNITS TO THE GREATEST EXTENT POSSIBLE. (6" MIN.) ADJUST, CLEAN, AND TOUCH-UP ALL SYSTEM COMPONENTS. U.N.O. CENTER SPRINKLER HEADS ON CEILING PANEL.
- CEILING TILE SHALL BE INSTALLED W/DOG EARS OR W/CUT REVEALS AT ALL PERIMETER WALLS T.M. PANEL REVEALS TYP..
- PROVIDE ALL MOLDINGS, TRIM, CLIPS, SEALANT, ACCESSORIES, ETC. AS REQUIRED FOR A COMPLETE INSTALLATION OF ALL CEILING SYSTEMS PER MFGRS SPECIFICATIONS, RECOMMENDATIONS, & STANDARD DETAILS.
- PROVIDE HOLD DOWN CLIPS FOR CEILING PANELS AT ALL RATED LOCATIONS.
- PROVIDE WRAPPED AND LABELED MAINTENANCE STOCK OF NEW MATERIAL EQUAL TO 2% OF CEILING PANELS AND SUSPENSION SYSTEM INSTALLED.
- PROVIDE 10 YEAR WARRANTY ON ALL SUSPENSION A.C.P. CEILING SYSTEMS.



1 FIRST FLOOR - REFLECTED CEILING PLAN  
SCALE: 3/16" = 1'-0"

\*\*\* 7/29/21 - PERMIT/CONSTRUCTION SET \*\*\*

NOTES

---

PROJECT


---

CLIENT

See Plymouth  
4 North Street  
Plymouth MA 02360  
Tel: 508.746.4646  
lea.filion@seeplymouth.com

---

SEAL




---

7/29/21	PERMIT/CONSTRUCTION		
7/27/21	ADD. 17/REV. 1 - PRICING SET		
NO.	DATE	REVISION	BY

---

**R2 ARCHITECTS Inc.**  
508.746.4646  
r2arch.com  
91 Samsset Street  
Plymouth, MA 02360

---

PROJECT MGR: JW  
CHECKED BY: JW/RFR  
JOB NO: 20710.1  
DRAWN BY: JW  
SCALE: As Noted  
DATE: 7/29/21  
JOB TITLE: REFLECTED CEILING PLAN

---

SHEET NO: A121

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DOOR AND FRAME SCHEDULE

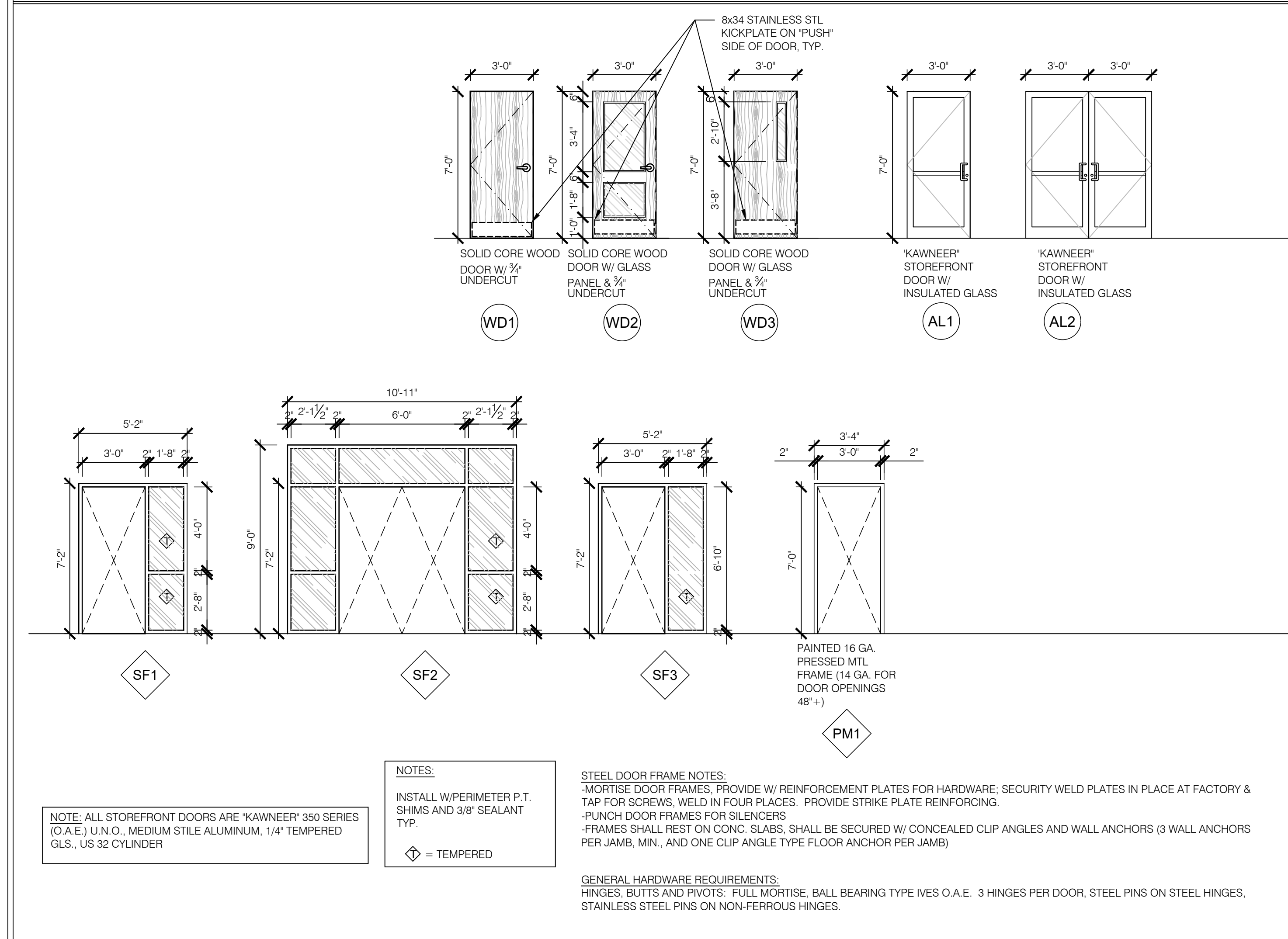
NUMBER	ROOM NAME	DOOR					FRAME			FIRE RATING LABEL	HARDWARE		REMARKS
		WIDTH	HGT	THK	MATL	GLASS	ELEV.	MATL	ELEV.		JAMB DEPTH	SET NO	
001	ENTRY VESTIBULE	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	-	-	-	"INSTALL NEW PADDLE/BUTTON AUTOMATIC OPENING DEVICE SYSTEM (single leaf)
002	ENTRY HALL	2 @ 3'-0"	7'-0"	1 3/4"	ALUM.	CLEAR	AL2	ALUM	SF2	5"	-	-	"INSTALL NEW PADDLE/BUTTON AUTOMATIC OPENING DEVICE SYSTEM (single leaf)
003	HALL 003	3'-0"	7'-0"	1 3/4"	ALUM.	CLEAR	AL1	ALUM	SF1	5"	-	-	PASSAGE LOCK SET. INSTALL NEW PADDLE/BUTTON AUTOMATIC OPENING DEVICE SYSTEM
004													
005													
006													
007													
008	M.A.A.B. TOILET ROOM	3'-0"	7'-0"	1 3/4"	WOOD	-	WD1	P.M.	PM1	5"	-	-	PRIVACY LOCK SET
009	SERVICE SINK CLOSET	2'-6"	7'-0"	1 3/4"	WOOD	-	WD1	P.M.	PM1	5"	-	-	STOREROOM LOCK SET
009A	STAIR HALL	3'-0"	7'-0"	1 3/4"	WOOD	-	WD3	P.M.	PM1	5"	-	-	PASSAGE LOCK SET
010	STAIR HALL	3'-0"	7'-0"	1 3/4"	WOOD	-	WD3	P.M.	PM1	5"	-	-	PASSAGE LOCK SET
107	EXIST. BREAK ROOM	3'-0"	7'-0"	1 3/4"	WOOD	-	WD3	P.M.	PM1	5"	-	-	OFFICE LOCK SET
108													
109	NEW OFFICE	3'-0"	7'-0"	1 3/4"	WOOD	CLEAR	WD2	ALUM	SF3	5"	-	-	OFFICE LOCK SET
110	OFFICE 110	3'-0"	7'-0"	1 3/4"	WOOD	CLEAR	WD2	ALUM	SF3	5"	-	-	OFFICE LOCK SET
110A	OFFICE 110	3'-0"	7'-0"	1 3/4"	WOOD	-	WD1	P.M.	PM1	5"	-	-	PASSAGE LOCK SET
Ex.	(EXISTING DOOR & HARDWARE TO REMAIN)	E.T.R.											ALL EXISTING DOORS NOT TAGGED IN PLAN UNLESS MODIFICATION IS CALLED OUT

\* NOTE: PROVIDE WEATHER STRIPPING @ DOOR PERIMETER & THRESHOLD. ALL EXTER. DOORS  
 \*\* NOTE: G.C. COORD. ROUGH OPENING SIZE TO MANUFACTURER'S RECOMMENDATIONS ACCORDING TO FINISH OPENINGS NOTED

ALUMINUM STOREFRONT SYSTEM NOTES

- 1.) EXTERIOR ALUMINUM ENTRANCE DOORS SHALL BE STILE-AND-RAIL TYPE, 1-3/4" THICK W/A 3-1/2" MEDIUM STILE WITH MECHANICALLY FASTENED AND REINFORCED JOINTS, COMPRESSION AND SLIDING WEATHERSTRIPPING, MODEL 350 SWING DOOR BY KAWNEER OR APPROVED EQUAL.
- 2.) EXTERIOR ALUMINUM DOOR FRAMING AND WINDOW SYSTEM SHALL BE 2"x6" UNITS FABRICATED FROM ALUMINUM EXTRUSIONS, ASTM B221, AND SHEET, ASTM B209, WITH THERMAL BREAK. TRIFAB 601T BY KAWNEER OR APPROVED EQUAL. FINISH TO BE SELECTED BY ARCHITECT. G.C. PROVIDE COLOR SAMPLES FOR SELECTION.
- 3.) GLAZING AT EXTERIOR STOREFRONT SYSTEM SHALL BE 1" THICK INSULATING GLASS UNIT, WITH SOLAR BAN 60 GLAZING AS MANUFACTURED BY PPG GLASS TECHNOLOGY.
- 4.) VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO FABRICATION WHERE POSSIBLE. PROVIDE 3/8" SHIM AND SEALANT SPACE AT PERIMETER OF ALL FRAMES.
- 5.) INSTALL ALL MATERIALS AND SYSTEMS IN ACCORDANCE WITH MANUFACTURER'S STANDARD DETAILS, SPECS, INSTRUCTIONS AND REVIEWED SUBMITTALS. INSTALL MATERIALS AND SYSTEMS IN PROPER RELATION WITH ADJACENT CONSTRUCTION AND WITH UNIFORM APPEARANCE. COORDINATE WITH THE WORK OF OTHER TRADES.
- 6.) ANCHOR SECURELY IN PLACE, INSTALL PLUMB, LEVEL, AND IN TRUE ALIGNMENT, WITH SHIMS AS REQUIRED. ISOLATE DISSIMILAR MATERIALS TO PREVENT CORROSION.
- 7.) COORDINATE WITH GLASS AND GLAZING WORK. INSTALL HARDWARE AND ADJUST FOR SMOOTH OPERATION.
- 8.) PROVIDE SHOP DRAWINGS SIGNED AND SEALED BY A MA REGISTERED P.E. DELINEATING STRUCTURAL AND WINDLOAD REQUIREMENTS.

DOOR AND DOOR FRAME ELEVATIONS



NOTE: ALL STOREFRONT DOORS ARE "KAWNEER" 350 SERIES (O.A.E.) U.N.O., MEDIUM STILE ALUMINUM, 1/4" TEMPERED GLS., US 32 CYLINDER

NOTE: INSTALL W/PERIMETER P.T. SHIMS AND 3/8" SEALANT TYP.

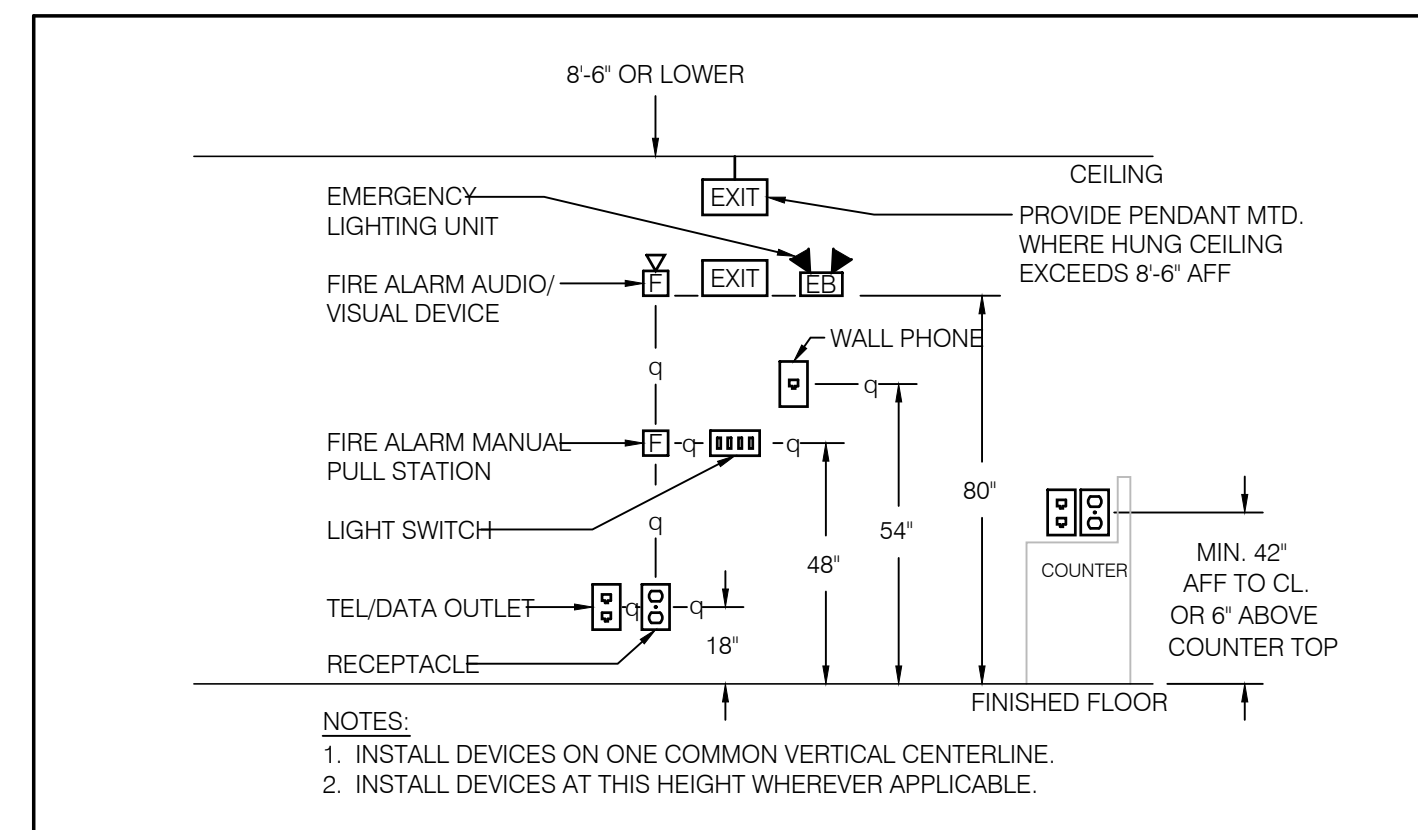
◇ = TEMPERED

STEEL DOOR FRAME NOTES:  
 -MORTISE DOOR FRAMES: PROVIDE W/ REINFORCEMENT PLATES FOR HARDWARE. SECURITY WELD PLATES IN PLACE AT FACTORY & TAP FOR SCREWS, WELD IN FOUR PLACES. PROVIDE STRIKE PLATE REINFORCING.  
 -PUNCH DOOR FRAMES FOR SILENCERS  
 -FRAMES SHALL REST ON CONC. SLABS, SHALL BE SECURED W/ CONCEALED CLIP ANGLES AND WALL ANCHORS (3 WALL ANCHORS PER JAMB, MIN., AND ONE CLIP ANGLE TYPE FLOOR ANCHOR PER JAMB)

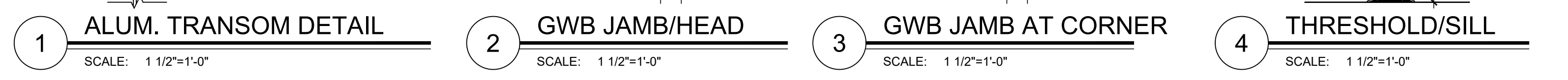
GENERAL HARDWARE REQUIREMENTS:  
 HINGES, BUTTS AND PIVOTS: FULL MORTISE, BALL BEARING TYPE IVES O.A.E. 3 HINGES PER DOOR, STEEL PINS ON STEEL HINGES, STAINLESS STEEL PINS ON NON-FERROUS HINGES.

DOOR AND GLAZING SYSTEM NOTES

1. ALL DOORS SHALL COMPLY WITH GOVERNING CODES AND REGULATIONS. PROVIDE PRODUCTS OF ACCEPTABLE MANUFACTURERS WHICH HAVE BEEN IN SATISFACTORY USE IN SIMILAR SERVICE FOR (3) YEARS. USE EXPERIENCED INSTALLERS. DELIVER, HANDLE, AND STORE MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. ALL DOORS SHALL CONFORM TO RISBC AND ADAAG REGULATIONS REGARDING OPERATION AND HARDWARE MOUNTING LOCATIONS.
2. SUBMIT TO ARCHITECT FOR REVIEW/APPROVAL ALL SAMPLES, SHOP DRAWINGS, PRODUCT DATA, WARRANTY, SEALANTS, TEST REPORTS, FINISH, & ENG. CERTIFICATION THAT SYSTEM DESIGN MEETS FM-100 PRIOR TO BEGINNING THE FABRICATION PROCESS ON ANY WINDOW OR DOOR PRODUCT.
3. PROVIDE FINISHED HARDWARE THROUGHOUT AS NEEDED FOR A COMPLETE AND PROPER INSTALLATION FOR SWINGING AND BIFOLD DOORS. HARDWARE QUALITY SHOULD BE HIGH-FREQUENCY FOR HIGH-TRAFFIC AREAS, AND MODERATE FREQUENCY FOR ALL OTHER LOCATIONS.
4. THE G.C. SHALL PROVIDE THE SERVICES OF AN A.H.C. OR D.A.H.C. MEMBER OF THE AMERICAN SOCIETY OF ARCHITECTURAL HARDWARE CONSULTANTS TO PREPARE AND/OR REVIEW HARDWARE SCHEDULE PRIOR TO SUBMISSION TO ARCHITECT FOR APPROVAL. ALL HARDWARE SHALL BE STAINLESS STEEL COMMERCIAL GRADE US26D UNLESS NOTED OTHERWISE.
5. GENERAL HARDWARE REQUIREMENTS:
  - HINGES, BUTTS, PIVOTS: FULL MORTISE, CONCEALED BALL BEARING TYPE - STANLEY O.A.E. (S.S. AT EXTERIOR DOORS)
  - LOCKSETS AND LATCHSETS: H.D. COMMERCIAL CYLINDRICAL LEVER SETS - SCHLAGE "SPARTA" OR SARGENT 10 LINE LL LEVER HANDLE DESIGN O.A.E.
  - CLOSERS: KAWNEER LCN 4041 SUPER SMOOTH O.A.E. (ALL CLOSERS TO MEET ADAAG REGULATIONS)
  - EXIT DEVICES: VON DUPRIN - HIGH FREQUENCY O.A.E. (AAB COMPLIANT)
  - DOOR TRIM: KICKPLATES AND PUSH/PULLS - ROCKWOOD O.A.E.
  - FLUSH BOLTS, SILENCERS, STOPS: IVES O.A.E.
  - THRESHOLDS (1/2" MAXIMUM) AND WEATHERSTRIPPING: NATIONAL GUARD O.A.E.
6. PREPARE DOORS AND FRAMES, (2) PER HEADER OF DBL. DR FRAMES TO RECEIVE HARDWARE AS PER FINAL SCHEDULE. PROVIDE FOR (3) SILENCERS ON SINGLE DOOR FRAMES. PROVIDE NOT LESS THAN (3) ANCHORS PER JAMB FOR ANCHORING OF FRAMES TO WALLS OR PARTITIONS.
7. ANY DOOR CARRYING A U.L. RATING SHALL BE INSTALLED IN A U.L. RATED FRAME WITH THE SAME DESIGNATION.
8. ALL ALUMINUM THRESHOLDS SHALL BE SET IN GROUT AND SHALL NOT EXCEED 1/2" IN HEIGHT PER ADAAG REGULATIONS.
9. INSTALL DOORS WITH NOT MORE THAN 1/8" CLEARANCE AT TOP AND SIDES, 1/4" CLEARANCE AT BOTTOM EXCEPT WHERE NOTED OTHERWISE.
10. INTERIOR SOLID CORE FLUSH WOOD DOORS SHALL BE AMWIMA PREMIUM GRADE 5-PLY (PC-5) CONSTRUCTION WITH PARTICLEBOARD CORES, 1-3/4" THICK. FINISH SHALL BE TRANSPARENT SHOP-FINISHED ON PLAIN SLICED BOOK-MATCHED VENEER FACES WITH CLEAR STAIN & 2 COATS POLYURETHANE, "MATTE" FINISH.
11. COMPLY WITH WDMA/WIWC WORKMANSHIP FOR VENEER FACES, VERTICAL EDGES, CROSSBANDS, HORIZONTAL EDGES AND DIMENSIONAL TOLERANCES. PREFIT DOORS TO FRAMES AND PREMACHINE FOR HARDWARE LISTED ON FINAL SCHEDULE. FACTORY BEVEL DOORS.
12. ALL INTERIOR METAL DOORS SHALL BE CONSTRUCTED OF 16 GAUGE COLD-ROLLED STEEL SEAMLESS, FULL FLUSH DESIGN, FACTORY PRIMED AND FIELD PAINTED.
13. ALL EXTERIOR METAL DOORS SHALL BE INSULATED AND CONSTRUCTED OF 16 GAUGE HOT-DIPPED GALVANIZED SHEET STEEL WITH A G60 COATING DESIGNATION, FULL FLUSH DESIGN, READY TO RECEIVE PAINT FINISH. ALL DOORS INSTALLED IN EXTERIOR WALLS SHALL BE FULLY WEATHERSTRIPPED.
14. DOOR FRAMES INSTALLED WITHIN A CONCRETE OR CMU WALL SHALL BE WELDED AND FULLY GROUTED SET WITH (3) ANCHORS PER JAMB. PRIOR TO GROUTING, COORDINATE ALL NECESSARY ROUGHS, INCLUDING ANY ACCESS SECURITY SYSTEM WIRING AND CONDUIT RUNS FOR THE SAME.
15. ALL INTERIOR METAL FRAMES SHALL BE 16 GAUGE COLD-ROLLED STEEL UP TO 4'-0" WIDE, 14 GAUGE OVER 4'-0" WIDE. KNOCKDOWN (KD) TYPE FOR ANY FRAMES WITHOUT TRANSOMS OR SIDELIGHTS - OTHERWISE WELDED WITH MITERED OR COPED CORNERS, FACTORY PRIMED AND FIELD PAINTED.
16. ALL EXTERIOR METAL FRAMES SHALL BE 16 GAUGE GALVANIZED SHEET STEEL UP TO 4'-0" WIDE, 14 GAUGE OVER 4'-0" WIDE WITH MITERED OR COPED AND FULLY WELDED CORNERS, FACTORY PRIMED AND FIELD PAINTED.
17. INSULATED STEEL OVERHEAD DOORS SHALL BE AS SPECIFIED AT DOOR ELEVATIONS NOTES. PROVIDE SOLID BLOCKING FOR DOOR MOTOR & OPERATOR MOUNTING PAD, COORD W/ MANUFACTURER'S REQUIREMENTS
18. PROVIDE OVERHEAD DOOR TRACKS AS RECOMMENDED BY THE MANUFACTURER TO SUIT LOADING REQUIREMENTS AND CLEARANCES. PROVIDE VINYL-FACED WEATHERSTRIPPING AT EXTERIOR PERIMETER OF DOOR OPENING. PROVIDE SOLID P.T. WOOD BLOCKING FULL HEIGHT OF EXTER. WALL FULLY ANCHORED AT TOP, BASE, & SPAN FOR SECURE INSTALLATION OF WALL ANGLE DOOR JAMB ASSEMBLY.



NOTES:  
 1. INSTALL DEVICES ON ONE COMMON VERTICAL CENTERLINE.  
 2. INSTALL DEVICES AT THIS HEIGHT WHEREVER APPLICABLE.



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7/29/21	PERMIT/CONSTRUCTION		
11/21/21	ADD/REV. 1 - PRICING SET		
NO.	DATE	REVISION	BY

R2 ARCHITECTS Inc.  
 508.746.4646  
 r2arch.com  
 91 Samsset Street  
 Plymouth, MA 02360

PROJECT MOR: JW  
 CHECKED BY: JW/RFR  
 JOB NO: 20710.1  
 DRAWN BY: JW  
 SCALE: As Noted  
 DATE: 7/29/21  
 TITLE: DOOR SCHEDULE, NOTES & GEN. INFO

SHEET NO: A601

C:\Acad\Projects\2021\07\21\01 - See Plymouth\_CDA\202101 - A601\_DOOR\_SCHEDULE\_NOTES & GEN\_INFO.dwg  
 Jul 28, 2021 - 5:26 am  
 JMW:SON