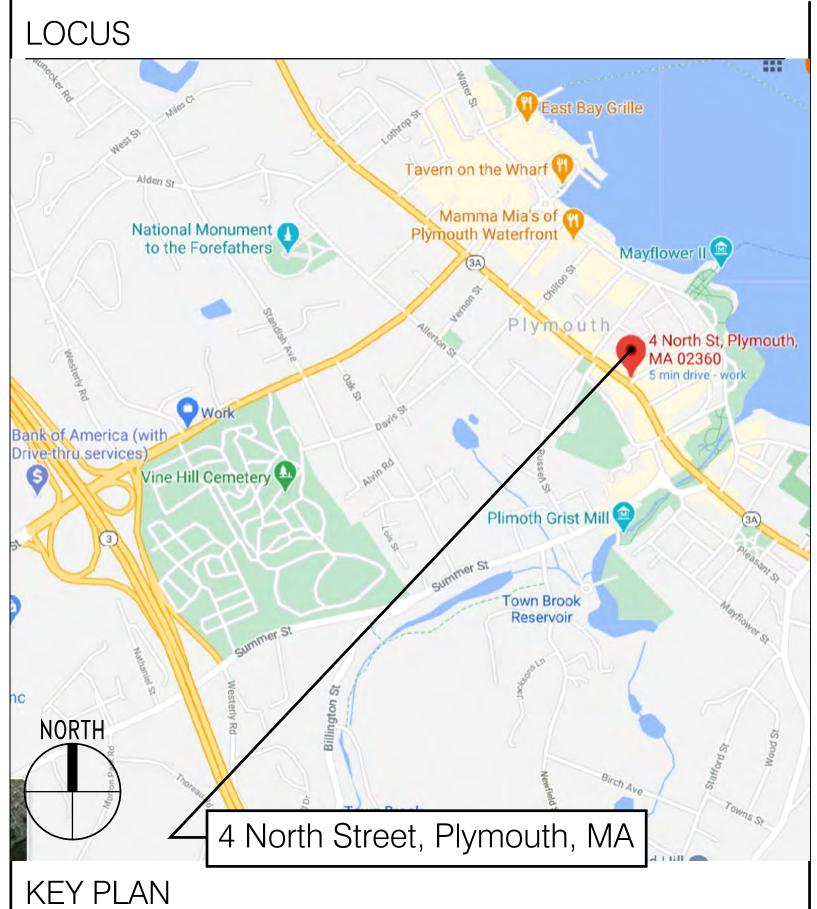
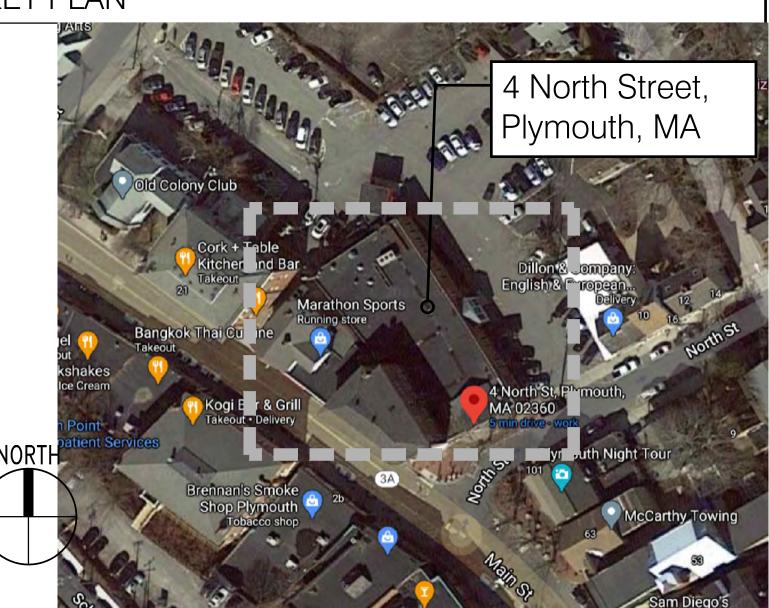
# See Plymouth -

# Interior Office Space Renovations

4 North Street Plymouth MA 02360





# CLIENT

**See Plymouth - Office of Tourism** 

**4 North Street** Floor 1/Unit 1

Plymouth, MA 02360 508.747.0100

https://www.seeplymouth.com/

**Contact:** 

Lea Filson, President/CEO

E: lea.filson@seeplymouth.com

# LANDLORD

Park Plymouth / P.G.D.C.

**40 Court Street** 

Plymouth, MA 02360

Web: https://www.parkplymouth.com/

**Owner Contact: Desmond Egan Operations Manager** 

E: degan@parkplymouth.com

GENERAL CONTRACTOR

**HAYNES GROUP - Builders/Construction Managers** 

385 West Street

West Bridgewater, MA 02379

508.230.9494 Web: https://www.haynesgroupinc.com/

**Contact:** 

David Spinale, Project Executive

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# ARCHITECT



91 Samoset Street Plymouth, MA 02360

r2arch.com

**Senior Project Manager:** Jim Wilson

E: jim@r2arch.com P: 508.746.4646

**Architect:** 

**Robert Reifeiss** 

E: robert@r2arch.com

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# DRAWING LIST

	REISSUED WITHOUT REVISION  ISSUED NEW OR WITH REVISION	BID SET - 5/12/21	PRICING SET - 7/27/21	PERMIT & CONSTRUCTION SET - 7/27/21	
ARCHITEC	CTURAL	'			1
G000	COVER SHEET				
G001	GENERAL NOTES & STANDARDS				
G002	DESIGN-BUILD NOTES & PARTITION TYPES				
CR000	CODE REVIEW & EGRESS PLANS				
CR001	CODE REVIEW & EGRESS PLANS				
D000	DEMOLITION NOTES & SPECIFICATIONS				
D100	DEMOLITION FLOOR PLANS				
A101	CONSTRUCTION FLOOR PLAN				
A121	REFLECTED CEILING PLAN				
A601	DOOR SCHEDULE, NOTES & GEN. INFO				



# APPLICABLE CODES

MASSACHUSETTS STATE BUILDING CODE- 9TH EDITION 780 CMR. THE 9TH EDITION 780 CMR ADOPTS THE FOLLOWING REFERENCED STANDARDS.

- 2015 INTERNATIONAL BUILDING CODE W/9TH EDITION MA AMENDMENTS
- 2015 INTERNATIONAL EXISTING BUILDING CODE WW/9TH EDITION MA **AMENDMENTS**
- 2015 MECHANICAL CODE
- 2015 INTERNATIONAL FIRE CODE (WHERE REFERENCED BY IBC)
- 2010 ASCE 7 STRUCTURAL
- 2013 NFPA 13, NFPA 14, AND NFPA 72
- SPECIALIZED CODES- 248 CMR, 521 CMR, 524 CMR, 527 CMR
- COMPREHENSIVE FIRE SAFETY CODE NFPA 1 2015
- ELECTRICAL CODE NFPA 70 2017
- INTERNATIONAL ENERGY CONVERSATION CODE IECC 2015, INCLUDING ASHRAE 90.1- 2013 EDITION AND STRETCH 2015 IDEC
- UNIFORM STATE PLUMBING CODE WITH AMENDMENTS
- MASSACHUSETTS ARCHITECTURAL ACCESS CODE (MAAB) 521 CMR (8/17/12)
- 2010 DEPARTMENT OF JUSTICE AMERICANS WITH DISABILITIES ACT (MAAB/ADA)

# ABBREVIATIONS

CERTAIN ABBREVIATIONS USED ON THE DRAWINGS MAY NOT BE LISTED BELOW. CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IF IN DOUBT TO THE MEANING OF ANY ABBREVIATIONS.

A.C.	ACRYLIC
AC A/C	AIR CONDITIONING
ACCS	ACCESSORY
ACT	ACOUSTIC CEILING TILE
ALUM	ALUMINUM
AFF	ABOVE FINISHED FLOOR
В/О	BOTTOM OF
Ç	CENTER LINE
CB	CONCRETE BLOCK
CLOS	CLOSET
CLR	CLEAR
CM	CENTIMETER
CONC	CONCRETE
CONT	CONTINUOUS
CT	CERAMIC TILE
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DWG	DRAWING
EL	ELEVATION
ELEC	ELECTRICAL
EP	ELECTRICAL PANEL
EQ	EQUAL
EXT FIN	EXTERIOR FINISH(ED)
FI	FLOOR
FT	FOOT
GALV	GALVANIZED
GR	GRANITE
GL	GLASS
GWB	GYPSUM WALLBOARD
HG	HEAVY GAUGE
НМ	HOLLOW METAL
HOR	HORIZONTAL
HT	HEIGHT
HVAC	HEATING/VENTILATION/ AIR-CONDITIONING
ID	INSIDE DIAMETER
INT	INTERIOR
JT	JOINT
LAM	LAMINATED
M	METER
MAX	MAXIMUM
MECH	MECHANICAL
MGR MIN	MANAGER MINIMUM
MTL	METAL
MU	MAKE-UP UNIT
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
0C	ON CENTER
OD	OUTSIDE DIAMETER
PMU	PRIVATE MAKE-UP ROOM
PLAM	PLASTIC LAMINATE
PLYWD	PLYWOOD
PRE-FAB	PRE-FABRICATED
PS DDT	PRESSED STEEL
PRT	PORCELAIN TILE
PT R	PAINT RISER
RAD	RADIUS
R.O.	ROUGH OPENING
REF	REFERENCE DIMENSIONS
REQ'D	REQUIRED

PORCELAIN TILE

# ABBREVIATIONS

CERTAIN ABBREVIATIONS USED ON THE DRAWINGS MAY NOT BE LISTED BELOW. CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IF IN DOUBT TO THE MEANING OF ANY ABBREVIATIONS.

R	RISER
RAD	RADIUS
R.O.	ROUGH OPENING
REF	REFERENCE DIMENSIONS
REQ'D	REQUIRED
PRT	PORCELAIN TILE
PT	PAINT
R	RISER
RAD	RADIUS
R.O.	ROUGH OPENING
REF	REFERENCE DIMENSIONS
REQ'D	REQUIRED
PRT	PORCELAIN TILE
PT	PAINT
R	RISER
RAD	RADIUS
R.O.	ROUGH OPENING
REF	REFERENCE DIMENSIONS
REQ'D	REQUIRED
RV	REVEAL
REV	REVERSE
RM	ROOM
SHT	SHEET
SPEC	SPECIFICATION
SQ	SQUARE
SQ FT	SQUARE FEET
ST	STONE
ST STL	STAINLESS STEEL
STL	STEEL
SIM	SIMILAR
STRUCT	STRUCTURE
TEL	TELEPHONE
THK	THICK, THICKNESS
TYP	TYPICAL
T/O	TOP OF
T.O.W.	TOP OF WALL
U/S	UNDERSIDE
VCT	VINYL COMPOSITE TILE

**VERTICAL** 

WIDE

WOOD

WITH

**EXTERIOR** 

VESTIBULE

**WORKING POINT** 

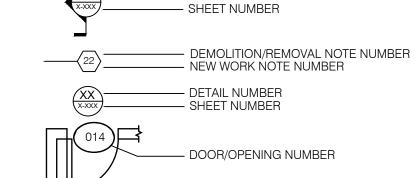
GYPSUM BOARD

**VERT** 

**XGWB** 

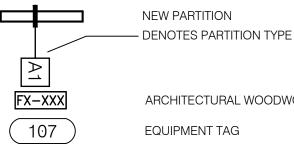
# SYMBOLS

### ARCHITECTURAL FLOOR PLANS SEE ARCHITECTURAL DRAWINGS FOR DETAILS, SPECIFICATIONS & ADDITIONAL SYMBOLS ----- FINISH NUMBER - CEILING HEIGHT (AFF) - ELEVATION NUMBER SHEET NUMBER SECTION NUMBER SHEET NUMBER



6"(UON) — TYP. DIMENSION FROM BACK OF DOOR TO WALL, UON. (WOOD DOOR FRAMES ONLY) EXISTING CONSTRUCTION TO REMAIN EXISTING RATED CONSTRUCTION TO REMAIN

EXISTING CONSTRUCTION TO BE REMOVED



ARCHITECTURAL WOODWORK NUMBER

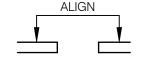
**EQUIPMENT TAG** 

STARTING POINT

FLOOR ELEVATION BREAK LINE

CONTRACT LIMIT LINE

HIDDEN ABOVE / BELOW



DENOTES ALIGNMENT OF THE FINISHED FACES OF TWO OR MORE SURFACE **FLEMENTS** 



SPEAKER SURFACE MOUNTED

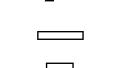


CCTV CAMERA WALL MOUNTED EXIT SIGN

SURFACEMOUNTED



LIGHTING TRACK AND HEAD



SURFACE MOUNTED LIGHT





2' X 4' FIXTURE, RECESSED

2' X 2' FIXTURE, RECESSED



RECESSED DOWN LIGHT; RECESSED WALL WASHER



RECESSED ADJUSTABLE DOWN LIGHT



HVAC RETURN AIR GRILLE

HVAC SUPPLY DIFFUSER



EXHAUST FAN



WALL MOUNTED DUPLEX RECEPTACLE - ISOLATED GROUND - GROUND FAULT CIRCUIT INTERRUPTER

WALL MOUNTED QUAD. RECEPTACLE



- ISOLATED GROUND FLOOR MOUNTED DUPLEX RECEPTACLE



WALL MOUNTED JUNCTION BOX FLOOR MOUNTED JUNCTION BOX WALL MOUNTED TELEPHONE OUTLET



COMMUNICATIONS/DATA (CREDIT CARD READER) RECEPTACLE OUTLET, MOUNTED 18" AFF. U.O.N. COMMUNICATIONS/DATA (MODEM) RECEPTACLE OUTLET, MOUNTED 18" AFF. U.O.N.



SINGLE POLE SWITCH, MOUNTED 48" AFF, U.O.N.

# GENERAL NOTES

- 1. THE DRAWINGS, SPECIFICATIONS AND RELATED NOTES AND SPECIFICATIONS ARE PROVIDED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION OF THE PROJECT.
- 2. BEFORE COMMENCING ANY WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY ERRORS OR OMISSIONS IN THE DRAWINGS OR SPECIFICATIONS OR ANY DISCREPANCIES BETWEEN THE DRAWINGS OR SPECIFICATIONS AND THE FIELD CONDITIONS FOUND, AND SHALL REQUEST CLARIFICATION.
- LAYOUT PLAN REQUIREMENT: AFTER DEMOLITION / REMOVALS AND BEFORE CONSTRUCTION STARTS, THE CONTRACTOR SHALL SUBMIT A LAYOUT PLAN CONFIRMING THE LOCATIONS AND DIMENSIONS OF EXISTING WALLS, COLUMNS AND UTILITIES AND SHOWING THE LAYOUT OF ALL NEW WALLS, DOORS, ENTRANCE PORTAL, ETC., FOR REVIEW AND ACCEPTANCE BY THE ARCHITECT.
- 4. INFORMATION PERTAINING TO RESPECTIVE TRADES IS NOT LIMITED TO SELECT DRAWING SHEETS AND MAY BE SHOWN OR NOTED ON ANY SHEET IN THE DRAWING PACKAGE. THE CONTRACTOR SHALL ISSUE THE ENTIRE DOCUMENT PACKAGE TO THE SUBCONTRACTORS SO THEY MAY PROPERLY DETERMINE THEIR SCOPE AND PERFORM THE WORK AS REQUIRED. THE ARCHITECT RESERVES THE RIGHT TO REJECT ANY CHANGE ORDER REQUESTS WHICH RESULT FROM INCOMPLETE DRAWING DISTRIBUTION TO SUBCONTRACTORS OR SUPPLIERS.
- ALL WORK SHOWN OR IMPLIED ON ALL DRAWINGS OR LISTED IN THE NOTES AND SPECIFICATIONS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL COORDINATE ALL WORK UNDER THE CONTRACT AND SHALL ALSO COORDINATE WITH WORK UNDER CONTRACTS LET DIRECTLY BY THE OWNER/TENANT.
- 6. SHOP DRAWINGS: THE CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS AS REQUIRED BY THE SPECIFICATIONS TOGETHER WITH SAMPLES OF MATERIALS AND FINISHES, PRIOR TO THE START OF ANY CONSTRUCTION OR FABRICATION. FOR REVIEW AND ACCEPTANCE BY THE ARCHITECT.
- ALL WORK SHALL CONFORM TO ALL LOCAL AND NATIONAL CODES, STANDARDS AND REGULATIONS WHICH ARE APPLICABLE TO THE WORK AND SHALL BE CONSTRUCTED AND PERFORMED CONSISTENT WITH THE RULES AND REGULATIONS OF OTHER AUTHORITIES OR AGENCIES HAVING JURISDICTION.
- 8. THE WORK SHALL CONFORM TO THE REQUIREMENTS OF THE "AMERICAN WITH DISABILITIES ACT" (MAAB/ADA). "MAAB/ADA STANDARDS FOR ACCESSIBLE DESIGN" OR OF ANY OTHER APPLICABLE ACCESSIBILITY STANDARDS AS REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION
- 9. EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL
- 10. MATERIALS AND INSTALLATIONS SHALL CONFORM TO THE MANUFACTURERS' PRODUCT SPECIFICATIONS, MANUALS, INSTALLATION REQUIREMENTS AND RECOMMENDATIONS.
- 11. DIMENSIONS ARE GIVEN TO THE FACE OF GYPSUM WALLBOARD UNLESS OTHERWISE NOTED ON THE DRAWINGS. DO NOT SCALE THE DRAWINGS. FOLLOW THE DIMENSIONS AND INSTRUCTIONS GIVEN. WHERE DISCREPANCIES OCCUR, REQUEST CLARIFICATION FROM THE ARCHITECT
- 12. THE WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF LOCAL FIRE LAWS AND THE REGULATIONS OF LOCAL UTILITY COMPANIES AND ANY AUTHORITY HAVING JURISDICTION.
- 13. THE CONTRACTOR SHALL COORDINATE THE ELECTRICAL WIRING AND LIGHTING INSTALLATION IN CABINETWORK WITH THE WOODWORK SUBCONTRACTOR.
- 14. ALL TELEPHONE WORK IS TO BE COORDINATED WITH THE OWNER/TENANT DESIGNATED PRIVATE PHONE COMPANY.
- 15. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER/TENANT'S SUPPLIERS FOR THE INSTALLATION OF ALL ELECTRONIC EQUIPMENT. WIRING, SIGNAL, SECURITY AND COMMUNICATIONS CIRCUITS AND RELATED EQUIPMENT.
- 16. ARCHITECTURAL WOODWORK SHALL BE MANUFACTURED IN ACCORDANCE WITH THE CURRENT EDITION OF THE "ARCHITECTURAL WOODWORK STANDARDS" OF THE "ARCHITECTURAL WOODWORK INSTITUTE" IN THE GRADE OR GRADES SPECIFIED IN THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE CONCEALED BLOCKING AS REQUIRED.
- 17. ALL WOOD ATTACHED TO THE BUILDING SHALL BE FIRE RETARDANT TREATED WOOED (FRTW). PROVIDE REQUIRED CERTIFICATIONS TO THE ARCHITECT AND TO ANY AGENCY HAVING JURISDICTION AS REQUIRED.
- 18. ALL CRACKS, CREVICES AND UNINTENDED OPENINGS IN THE ENCLOSURE OF THE PROJECT SPACES SHALL BE CLOSED OFF, FLASHED AND/OR SEALED WITH APPROPRIATE SEALANT TO PREVENT ACCESS TO HARBORAGE OF INSECTS AND RODENTS.
- 19. PROTECTED STRUCTURAL STEEL: THE CONTRACTOR SHALL PATCH OR TOUCH UP ANY DAMAGED FIREPROOFING ON STRUCTURAL STEEL WHETHER REMOVED BY SUBCONTRACTORS OR BY OTHERS HIRED SEPARATELY BY THE OWNER/TENANT.
- 20. THE CONTRACTOR SHALL MAINTAIN FREE ACCESS FOR ALL OWNER/TENANT STAFF, SERVICE PERSONNEL AND THE PUBLIC THROUGH AREAS INVOLVED AND SHALL ASSURE THAT ALL OWNER/TENANT FACILITIES, EQUIPMENT AND SERVICES ARE FULLY OPERABLE DURING BUSINESS HOURS AS REQUIRED. COORDINATE WITH THE OWNER/TENANT REPRESENTATIVES.
- 21. ANY NECESSARY SHUT-DOWN OF ELECTRIC SERVICE, TELEPHONE, COMMUNICATIONS, SECURITY, PLUMBING, SPRINKLERS OR HVAC SERVICES SHALL BE SCHEDULED WITH THE OWNER/TENANT REPRESENTATIVES AND ACCEPTED BEFORE ANY INTERRUPTION IS INITIATED.
- 22. THE CONTRACTOR SHALL ADHERE TO STATED BUILDING RULES AS TO THE HOURS OF WORK, USE OF THE ELEVATORS AND STAIRS, STORAGE AND REMOVAL OF DEBRIS, ETC. ALL WORK SHALL BE PERFORMED AS EXPEDITIOUSLY AS POSSIBLE. ALL AREAS ADJACENT TO BUT NOT INVOLVED IN THE WORK SHALL BE PROTECTED FROM DAMAGE, DUST AND DEBRIS.
- 23. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND DEBRIS DAILY EXCEPT ITEMS TO BE RE-USED OR AS OTHERWISE DIRECTED BY THE ARCHITECT OR OWNER/TENANT. ALL RUBBISH AND DEBRIS OCCASIONED BY THE CONTRACTOR, SUBCONTRACTORS OR THOSE HIRED SEPARATELY BY THE TENANT SHALL BE REMOVED BY THE CONTRACTOR.
- 24. THE CONTRACTOR SHALL PERFORM ALL CUTTING, FITTING OR PATCHING OF THE WORK THAT MAY BE REQUIRED TO MAKE ALL PARTS COME TOGETHER PROPERLY. THIS INCLUDES ALL WORK WITHIN THE SCOPE OF THE CONTRACT, THE WORK OF THE SUBCONTRACTORS AND THE WORK OF OTHERS HIRED SEPARATELY BY THE OWNER/TENANT.
- 25. "EXISTING TO REMAIN" MATERIALS AND NEW FLOORING, GLASS OR OTHER MATERIALS INSTALLED BY THE CONTRACTOR, SUBCONTRACTORS OR THOSE HIRED SEPARATELY BY THE OWNER/TENANT SHALL BE PROTECTED THROUGHOUT THE PERIOD OF CONSTRUCTION.

- 26. THE CONTRACTOR SHALL PAY ALL TRANSPORTATION CHARGES FOR ALL MATERIALS OR EQUIPMENT TO THE POINT OF USE AND SHALL BE RESPONSIBLE FOR UNLOADING, CHECKING AND STORING OF SAME IN CONNECTION WITH THIS CONTRACT.
- 27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING FOR ELEVATORS, LIFTS OR OTHER HOISTING FACILITIES OR EQUIPMENT FOR HANDLING MATERIALS. ANY COSTS RELATED TO THE MOVEMENT OF MATERIALS SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- 28. AIA GENERAL CONDITIONS DOCUMENT A201 IS INCLUDED AS PART OF THE CONTRACT DOCUMENTS EXCEPT AS EXCLUDED OR SPECIFICALLY SUPERSEDED BY THE CONTRACT FOR CONSTRUCTION, OTHER OWNER/TENANT REQUIREMENTS AND ANY GENERAL CONDITIONS INCLUDED THEREIN.
- 29. NA
- 30. IF DURING DEMOLITION AND REMOVALS ANY ACM (ASBESTOS CONTAINING MATERIALS) ARE DISCOVERED OR SUSPECTED, THE CONTRACTOR SHALL INFORM THE OWNER/TENANT AND THE APPROPRIATE AUTHORITY.

oace Renovations Plymouth S S See Plymouth 4 North Street Plymouth MA 02360 Tel: 508 747.0100 Contact: Lea Filson lea.filson@seeplymouth.com



/29/21 CONSTRUCTION REVISION

**207**10.1

**GENERAL NOTES &** STANDARDS

GENERAL NOTES THE GENERAL CONTRACTOR SHALL CONFORM TO AIA DOCUMENT A201 - (1997) GENERAL CONDITIONS. IT IS HEREBY MADE PART OF THIS

1.) THE GENERAL CONTRACTOR (G.C.) SHALL FIELD-VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO THE WORK AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT REGARDING ANY DISCREPANCIES.

2.) THE G.C. AND THE DESIGN/BUILD (D/B) SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING COMPLETE M.E.P./F.P., A.V. SYSTEMS DESIGN AND LAYOUT DRAWINGS WITH CALCULATIONS & LOADS (AS MAY BE REQUIRED BY THE AUTHORITY HAVING JURISDICTION) WHICH CONFORM TO ALL STATE AND LOCAL CODES, STAMPED AND CERTIFIED BY A REGISTERED P.E. AS REQUIRED BY THE M.S.B.C. & THE LOCAL BUILDING & FIRE DEPTS. AT THE TIME OF PERMIT. THIS INCLUDES ANY DESIGN & INSPECTION AFFIDAVITS ENERGY CONSERVATION DATA AND NARRATIVES AS REQUIRED PER 2015 IBC, 2015 IECC AND THE AMENDMENTS TO CHAPTER 13 OF THE MASSACHUSETTS STATE BUILDING CODE (M.S.B.C.), NINTH EDITION.

3.) THE G.C. SHALL SEAL ALL THROUGH-WALL & FLOOR PENETRATIONS WITH 3M BARRIER CAULK AND SEALANT ON USG SAFING- 2500 PSI GROUT @ CMU. INSTALL ANY REQUIRED FIRE RATED PARTITIONS TO UNDERSIDE OF FLOOR OR ROOF DECK INCLUDING DEFLECTION HEAD.

- 4.) THE G.C. SHALL BE RESPONSIBLE FOR DAILY REMOVAL AND LEGAL DISPOSAL OF ALL DEBRIS.
- 5.) THE G.C. SHALL BE RESPONSIBLE FOR ALL PERMITS, AND FEES AS REQUIRED BY THE LOCAL MUNICIPALITY OR UTILITIES
- 7.) THE DRAWINGS ARE NOT TO BE SCALED. ALL WORK, LINES AND LEVELS SHALL BE LAID OUT BY WRITTEN DIMENSIONS. GWB DIMENSIONS ARE FROM FACE TO FACE OF FINISH. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY. ALL DEVIATIONS SHALL BE CORRECTED BY THE CONTRACTOR BEFORE HE BEGINS HIS PORTION OF THE WORK.
- 8.) INSTALL A CONTINUOUS SEALANT BEAD ON BACKER ROD AT ALL JUNCTURES OF DISSIMILAR MATERIALS (E.G.: METAL TO CMU, STEEL TO ALUMINUM) AND ALL MATERIAL JOINTS AS REQUIRED BY THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS, INDUSTRY STANDARDS AND GOOD PRACTICE. 9.) COORDINATE SOLID BLOCKING FOR ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES AS PER 521 CMR AAB AS DEFINED FOR STRUCTURAL STRENGTH
- 10.) PROVIDE CONTINUOUS GALVANIZED METAL EDGE TRIM AT ALL GWB WORK.
- 11.) THE G.C. SHALL SUBMIT ALL SHOP DRAWINGS, SAMPLES, CATALOG CUTS ETC., INCLUDING COLOR CHARTS FOR PAINTS AND STAINS FOR ALL EXTERIOR AND INTERIOR FINISHES, TO THE ARCHITECT FOR SELECTION, REVIEW AND APPROVAL PRIOR TO ORDERING, FABRICATION OR INSTALLATION.
- 12.) ALL PARTIES SHALL BE RESPONSIBLE FOR CONFORMING TO 2015 IBC AND AMENDMENTS TO THE M.S.B.C. SECTION 107.6 FOR CONSTRUCTION CONTROL 13.) INSTALL USG .093 (OR APPROVED EQUAL) CONTROL JOINTS @ 30'-0" O.C. MAX. OR AS PER MANUFACTURER'S SUGGESTED DETAILS AND SPECIFICATIONS.
- 14.) PERFORM ALL WORK IN ACCORDANCE WITH THE M.S.B.C. AND ADAAG (WHERE MORE RESTRICTIVE), AS WELL AS ALL LOCAL BY-LAWS, ORDINANCES AND FIRE STATUTES.
- 15.) THE G.C. SHALL INSTALL ALL INTERIOR FINISHES AT ALL SURFACES INDICATED ON THE DRAWINGS IN CONFORMANCE TO M.S.B.C. TABLE 803.4.
- 16.) THE G.C. SHALL INSTALL ALL DOORS HAVING LEVER HARDWARE TO CONFORM TO AAB & ADAAG (WHERE MORE RESTRICTIVE).
- 17.) THE G.C. SHALL COORDINATE WITH THE D/B/ SUB-C'S AND PROVIDE ANY ACCESS PANELS REQUIRED BY CODE.
- 18.) FINISH SLAB-ON-GRADE ELEVATION ASSUMED TO BE 0'-0".
- 19.) FIRE EXTINGUISHER AND CABINET QUANTITIES AND LOCATIONS TO BE COORDINATED WITH THE TOWN OF PLYMOUTH FIRE DEPARTMENT PRIOR TO ORDERING AND INSTALLATION. CONFORM TO 527 CMR FIRE REGS. AND NFPA-10.

1.) THE D/B HVAC SUB-C SHALL BE RESPONSIBLE FOR PROVIDING ENGINEERING DESIGN DRAWINGS, LAYOUT, SHOP DRAWING SUBMITTALS AND INSTALLATION FOR SUPPLY, RETURN, MAKE-UP AIR & EXHAUST SYSTEMS & CONTROL WIRING, DEVICES & EQUIP. AS REQUIRED BY THE LATEST EDITION OF THE INTERNATIONAL MECHANICAL CODE 2015 M.S.B.C. CHAPTER 13, AS AMENDED FOR ENERGY CONSERVATION. WORK SHALL CONFORM TO LATEST SMACNA & ASHRAE STANDARDS 2.) THE DESIGN/BUILD HVAC SUB-C. SHALL BE RESPONSIBLE FOR CONFORMING TO CH. 13, SECTION 103.6 INCLUDING ALL SEALED AND SIGNED CALCULATIONS AND NARRATIVES.

3.) REFER THE PERFORMANCE SPECIFICATIONS ON G003

1.) D/B PLUMBING SUBCONTRACTOR SHALL CONFORM TO ALL STATE CODES, LOCAL CODES, MASS. STATE FUEL GAS & PLUMBING CODE (CMR 248) FOR ALL

2.) D/B SPRINKLER SUBCONTRACTOR SHALL CONFORM TO NFPA 13, MSBC CH. 9, S.917 AND THE LOCAL FIRE DEPARTMENT REQUIREMENTS AND SHALL COORDINATE THE DESIGN, LAYOUT AND INSTALLATION WITH THE OWNER'S I.S.O. ALSO, SUBMIT NARRATIVE AT TIME OF PERMITTING.

3.) D/B SPRINKLER SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN, LAYOUT, INSTALLATION AND CALCULATIONS AND COORDINATION WITH THE LOCAL FIRE DEPARTMENT PRIOR TO INSTALLATION AND SUBMISSION OF STAMPED AND SIGNED DRAWINGS AS WELL AS WATER FLOW & PRESSURE TESTING TO THE LOCAL FIRE DEPARTMENT AS PART OF THE PERMIT SET.

### ELECTRICAL NOTES

1.) THE D/B ELECTRICAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE ELECTRICAL ENGINEERING DESIGN (AS MAY BE REQUIRED BY THE AUTHORITY HAVING JURISDICTION) LAYOUT, SHOP DRAWING SUBMITTALS, AND INSTALLATION TO SUIT THE WORK. INCLUDING CH 13. REQUIREMENTS FOR SECTION 1307 POWER DISTRIBUTIONS AND 1308 LIGHTING SYSTEMS: HE/SHE SHALL COORDINATE POWER WIRING AND CABLING, LIGHTING, DEVICES, EQUIPMENT, RUNS, TERMINATIONS, CIRCUITS AND PANEL LOCATION. COORDINATE ANY SPECIAL ELECTRICAL DEVICES OR EQUIPMENT REQUIREMENTS WITH THE OWNER PRIOR TO WORK.

- 2.) PROVIDE EMERGENCY LIGHTING, EXIT SIGNS AND EXIT LIGHTS AS PER M.S.B.C. SECTION 1006.1 & 1006.3
- 3.) THE G.C. AND D/B ELECTRICAL SUBCONTRACTOR SHALL REVIEW LIGHT FIXTURE CUTS & SPECIFICATIONS WITH ARCHITECT AND OWNER PRIOR ORDERING AND PRIOR TO THE WORK.
- 4.) THE G.C. SHALL COORDINATE THE WORK OF ALL TRADES REGARDING CEILING-MOUNTED AND ABOVE-CEILING-MOUNTED EQUIPMENT, DEVICES AND FIXTURES. 5.) THE ELECTRICAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMING TO THE UPGRADES TO NEC & MEC, LATEST EDITIONS, FOR ALL
- ELECTRICAL WORK.
- 6.) COORDINATE MASTER BOX, KNOX BOX, AND BEACON LOCATIONS WITH THE D/B ELECTRICAL/FIRE ALARM DRAWINGS AND THE TOWN OF PLYMOUTH FIRE DEPARTMENT REQUIREMENTS.

### MISCELLANEOUS:

1.) D/B G.C. TO COORDINATE THE ARCHITECTURAL & STRUCTURAL W/ THE D/B MECHANICAL & ELECTRICAL DWGS. FOR VERIFICATION OF ALL PROJECT REQUIREMENTS.

- 1.) THE G.C. SHALL BE RESPONSIBLE FOR COORDINATING ALL SITE WORK. WITH STAMPED AND SIGNED DRAWINGS BY THE OWNER'S REGISTERED CIVIL ENGINEER AS REQUIRED BY ALL APPLICABLE LOCAL AND STATE DEPARTMENTS
- 2.) REFER TO ENGINEERED SITE PLAN FOR CONTINUATION OF ALL CONC. WALKWAYS, SITE IMPROVEMENTS, HC CURB CUTS, PARKING LAYOUT & STRIPING,
- INCLUDING HANDICAP SPACES AND HC SIGNAGE, SURFACE & SUBSURFACE UTILITIES, LANDSCAPING, GRADING & LIGHTING. CONFORM TO MSBC, AAB AND ADAAG FOR HANDICAPPED ACCESSIBILITY.

### GENERAL CODE REVIEW NOTES

Existing 1 story steel & masonry construction building, formerly a full service bank. We base this review of applicable building codes on our experience, and it is our opinion. The Federal Courts, the Fire Department, and the local building inspector have jurisdiction of the respective codes.

### APPLICABLE CODES

IBC 2015 (referenced for this review)

MA 9th Edition Amendments (referenced for this review) Stretch Energy Appendix AA MAAB 521 CMR 1/27/06 (referenced for this review)

IMC 2009

MA Fire Prevention Regulations 527 CMR 1/1/15, 2012 NFPA 1 and MA Amendments MA Fuel Gas and Plumbing Code 248 CMR 8/17/12

MA Electrical Code 2008 (Amendments) 527 CMR 12, amending the NFPA-70 2011

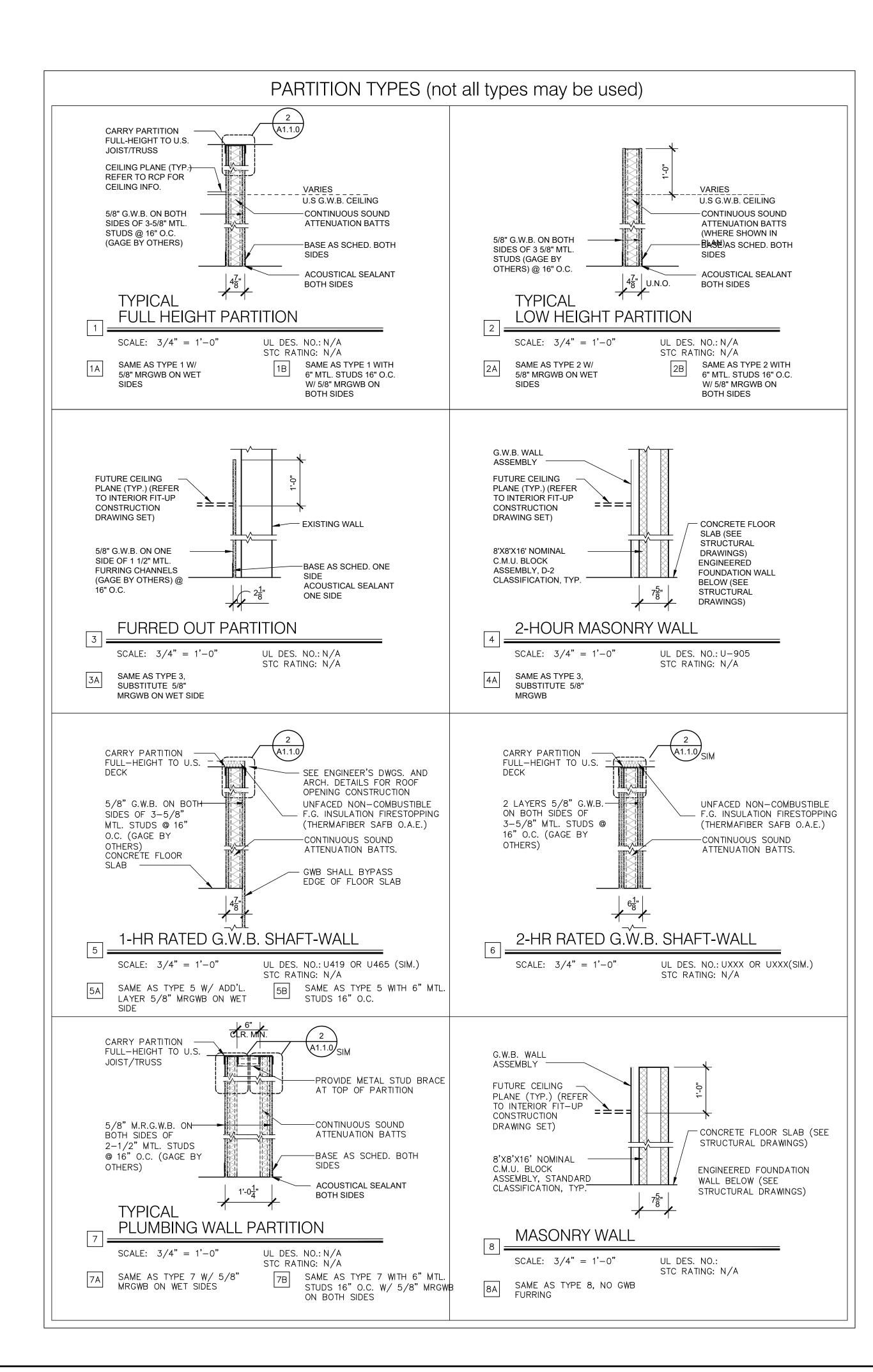
PLYMOUTH has adopted the Stretch Energy Code as of 6/19/17, so Chapter 13 applies for existing buildings, and for new buildings other than R and large commercial buildings (AA103.3, AA104). Chapter 13 requires for commercial buildings either ASHRAE 90.1-2013 modified for electric and mechanical systems, or IECC 2015 Sections C402 to 406. COMCheck is allowed (C402.6).

Air barrier: provide continuous and sealed as required in 5.4.3.1

Window and door assemblies including skylights leakage to be <=.2 cfm/sf per test listed, except for garage doors 1.3, storefront glazing .06, and storefront doors 1.0 (502.4.1, .2). Loading dock and cargo door weatherseals: provide (5.4.3.3).

Vestibules are required for all building entrances. Doors opening into spaces <3,000 SF separate from the entrance need no vestibule (exception 7). Vapor barriers to be provided on interiors of walls, except not required where moisture or its freezing will not damage the materials, thus NA (502.5 amendment).

MAAB: Portions of this building are open to the public, so MAAB does apply.



Reno

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<sup>/29/21</sup> constructio PRICING SET REVISION

7/29/21

**DESIGN-BUILD** 

NOTES &

**PARTITION TYPES** 

**207**10.1

As Noted

CH. 34 BLDG. CODE REVIEW BASED ON THE INTERNATIONAL EXISTING BLDG. CODE 2015 (IEBC 2015) AS AMENDED BY MSBC 780 CMR - 9TH ED.

101.2 AS AMENDED - SCOPE - THE SCOPE OF WORK QUALIFIES AS AN ALTERATION TO AN EXISTING BUILDING; THEREFORE, REGULATIONS OF CHAPTER 34 OF THE MSBC 780 CMR - 9TH EDITION APPLY

101.4 - APPLICABILITY - THE SCOPE OF WORK QUALIFIES AS AN ALTERATION TO AN EXISTING BUILDING, THEREFORE, THE REQUIREMENTS OF 2015 IEBC - AS

**EXISTING BUILDINGS:** 

CHAPTER 7 - ALTERATIONS - LEVEL 1 AS AMENDED BY 780 CMR - 9TH ED.

SECTION 701 - GENERAL 701.1 SCOPE. LEVEL 1 ALTERATIONS WILL OCCUR AS DESCRIBED IN SECTION 503, AND AS PER S.701.2 CONFORMANCE - AN EXISTING BUILDING OR PORTION THEREOF SHALL NOT BE ALTERED SUCH THAT THE BUILDING BECOMES LESS SAFE THAN ITS EXISTING CONDITION.

SECTION 702 - BUILDING ELEMENTS AND MATERIALS, S.702.1 INTERIOR FINISHES. ALL NEWLY INSTALLED WALL AND CEILING FINISHES SHALL COMPLY WITH CHAPTER 8 OF THE IBC. 702.2 INTERIOR FLOOR FINISHES. NEW INTERIOR FLOOR FINISH, INCLUDING NEW CARPETING USED AS AN INTERIOR FLOOR FINISH MATERIAL, SHALL COMPLY WITH S.804 OF THE IBC. 702.3 INTERIOR TRIM. ALL NEWLY INSTALLED INTERIOR TRIM MATERIALS SHALL COMPLY WITH S.806 OF THE IBC. (702.4, 702.5 N/A, APPLIES TO "R" OCCUPANCIES), 702.6 MATERIALS AND METHODS. ALL NEW WORK SHALL COMPLY WITH THE MATERIALS AND METHODS REQUIREMENTS OF THE IBC, IECC, IMC AND IPC, AS APPLICABLE, THAT SPECIFY MATERIAL STANDARDS, DETAIL OF INSTALLATION AND CONNECTIONS, JOINTS, PENETRATIONS, AND CONTINUITY OF ANY ELEMENT, COMPONENT OR SYSTEM IN THE BUILDING.

SECTION 703 FIRE PROTECTION - 703.1 GENERAL. ALTERATIONS SHALL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF FIRE PROTECTION PROVIDED.

SECTION 704 MEANS OF EGRESS - 704.1 GENERAL. ALTERATIONS SHALL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF PROTECTION PROVIDED FOR THE MEANS OF EGRESS

SECTION 705 - ACCESSIBILITY - 705.1 THROUGH 705.1.14 - GENERAL. ACCESSIBILITY REQUIREMENTS SHALL BE IN ACCORDANCE WITH 521 CMR.

SECTION 707 - STRUCTURAL - 706.1 GENERAL. WHERE ALTERATION WORK INCLUDES REPLACEMENT OF EQUIPMENT THAT IS SUPPORTED BY THE BUILDING OR WHERE A REROOFING PERMIT IS REQUIRED, THE PROVISIONS OF THIS SECTION SHALL APPLY.

SECTION 708 - ENERGY CONSERVATION - 708.1 MINIMUM REQUIREMENTS. LEVEL 1 ALTERATIONS TO EXISTING BUILDINGS OR STRUCTURES ARE PERMITTED WITHOUT REQUIRING THE ENTIRE BUILDING OR STRUCTURE TO COMPLY WITH THE ENERGY REQUIREMENTS OF THE 2015 IECC. ALTERATIONS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE 2015 IECC AS THEY RELATE TO NEW CONSTRUCTION ONLY.

CHAPTER 8 - ALTERATIONS - LEVEL 2 AS AMENDED BY 780 CMR - 9TH ED.

SECTION 801 - GENERAL 801.1 SCOPE. LEVEL 2 ALTERATIONS AS DESCRIBED IN S.504 SHALL COMPLY WITH THE REQUIREMENTS OF THIS CHAPTER. EXCEPTION: BUILDINGS IN WHICH THE RECONFIGURATION IS EXCLUSIVELY THE RESULT OF COMPLIANCE WITH THE ACCESSIBILITY REQUIREMENTS OF 521 CMR/705.2. 801.2 ALTERATIONS LEVEL 1 COMPLIANCE. IN ADDITION TO THE REQUIREMENTS OF THIS CHAPTER, ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 8. 801...3 COMPLIANCE. ALL NEW CONSTRUCTION ELEMENTS, COMPONENTS, SYSTEMS, AND SPACES SHALL COMPLY WITH THE REQUIREMENTS OF THE 2015 IBC INCLUDING EXCEPTIONS 1 THROUGH 4.

SECTION 802 - SPECIAL USE AND OCCUPANCY. 802.1 GENERAL. ALTERATIONS OF BUILDINGS CLASSIFIED AS SPECIAL USE AND OCCUPANCY AS DESCRIBED IN THE IBC SHALL COMPLY WITH THE REQUIREMENTS OF S.801.1 AND THE SCOPING PROVISIONS OF CHAPTER 1 WHERE APPLICABLE.

SECTION 803 - BUILDING ELEMENTS AND MATERIALS - REQUIREMENTS OF THIS SECTION ARE LIMITED TO WORK AREAS IN WHICH LEVEL 2 ALTERATIONS ARE BEING PERFORMED AND SHALL APPLY BEYOND THE WORK AREA WHERE SPECIFIED. 803.2 VERTICAL OPENINGS. EXISTING VERTICAL OPENINGS SHALL COMPLY WITH THE PROVISIONS OF SECTION 803.2.1, 803.2.2, AND 803.2.3. 803.2.1 EXISTING VERTICAL OPENINGS. ALL EXISTING INTERIOR VERTICAL OPENINGS CONNECTING TWO OR MORE FLOORS SHALL BE ENCLOSED WITH APPROVED ASSEMBLIES HAVING A FIRE-RESISTANCE RATING OF NOT LESS THAN ONE (1) HOUR WITH APPROVED OPENING PROTECTIVES. 803.4 INTERIOR FINISH. THE INTERIOR FINISH OF WALLS AND CEILINGS IN EXITS AND CORRIDORS IN ANY WORK AREA SHALL COMPLY WITH THE REQUIREMENTS OF THE IBC. 703.5 GUARDS. THE REQUIREMENTS OF S.8.03.5.1 AND 803.5.2 SHALL APPLY IN ALL WORK AREAS.

SECTION 804 AS AMENDED - FIRE PROTECTION. 804.1 SCOPE. THE REQUIREMENTS OF THIS SECTION SHALL BE LIMITED TO WORK AREAS IN WHICH LEVEL 2 ALTERATIONS ARE BEING PERFORMED, AND WHERE SPECIFIED THEY SHALL APPLY THROUGHOUT THE FLOOR ON WHICH THE WORK AREAS ARE LOCATED OR OTHERWISE BEYOND THE WORK AREA, 804.1.1 CORRIDOR BATINGS. WHERE AN APPROVED AUTOMATIC SPRINKLER SYSTEM IS INSTALLED AND OR UPGRADED. THROUGHOUT THE STORY. THE REQUIRED FIRE-RESISTANCE RATING FOR ANY CORRIDOR LOCATED ON THE STORY SHALL BE PERMITTED TO BE REDUCED IN 804.2.5. INSTALLATION REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE IBC. 804.2.2, AS AMMENDED IN BUILDINGS WITH OCCUPANCIES IN GROUPS "A"..., WORK AREAS THAT HAVE EXITS OR CORRIDORS SHARED BY MORE THAN ONE TENANT OR HAVE HAVE EXITS OR CORRIDORS SERVING MORE THAN 30 OCC.'S SHALL HAVE AN AUTO. SPRINKLER SYSTEM WHERE ALL OF THE FOLLOWING OCCUR: 1. THE WORK AREA IS REQ'D. TO HAVE PROTECTION IN ACCORDANCE WITH THE IBC AS PER NEW CONSTRUCTION, 2. THE WORK AREA EXCEEDS 50% OF THE FLOOR AREA (EXCEPTION, INADEQUATE WATER SUPPLY, THEN SMOKE DETECTION THROUGHOUT REQUIRED 804.4 FIRE ALARM AND DETECTION. AN APPROVED FIRE ALARM SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH S.804.4.1 THROUGH 804.4.3. WHERE AUTOMATIC SPRINKLER PROTECTION IS PROVIDED IN ACCORDANCE TO S.804.2 AND AND IS CONNECTED TO THE BUILDING FIRE ALARM SYSTEM, AUTOMATIC HEAT DETECTION SHALL NOT BE REQUIRED. AN APPROVED FIRE ALARM SYSTEM WILL BE INSTALLED AND OR UPGRADED IN ACCORDANCE WITH

SECTION 805 AS AMENDED - MEANS OF EGRESS. 805.1 SCOPE. THE REQUIREMENTS OF THIS SECTION SHALL BE LIMITED TO WORK AREAS THAT INCLUDE EXITS OR CORRIDORS SHARED BY MORE THAN ONE TENANT WITHIN THE WORK AREA IN WHICH LEVEL 2 ALTERATIONS ARE BEING PERFORMED, AND WHERE SPECIFIED THEY SHALL APPLY THROUGHOUT THE FLOOR ON WHICH THE WORK AREAS ARE LOCATED OR OTHERWISE BEYOND THE WORK AREA. 805.2 AS AMENDED GENERAL. MEANS OF EGRESS SHALL COMPLY WITH THIS SECTION; EXCEPTIONS: 1. WORK AREA AND MEANS OF EGRESS COMPLIES WITH NFPA 101, 2. EGRESS CONFORMING TO THE REQTS. OF THE BUILDING CODE UNDER WHICH IT WAS CONSTRUCTED SHALL BE CONSIDERED COMPLIANT IF IN OPINION OF BUILDING OFFICIAL, IT DOES NOT CONSTITUTE DIRECT HAZARD TO LIFE 805.3 NUMBER OF EXITS. THE NUMBER OF EXITS SHALL BE IN ACCORDANCE WITH S.805.3.1 THROUGH 805.3.3. 805.3.1 MINIMUM NUMBER. THE NUMBER OF EXITS SHALL BE IN ACCORDANCE WITH THE IBC, AND SHALL COMPLY W/ 805.3.1.1 AND 805.3.1.2 805.4 EGRESS DOORWAYS. EGRESS DOORWAYS IN ANY WORK AREA SHALL COMPLY WITH S.805.4.1 THROUGH 805.4.5. 805.4.1 TWO EGRESS DOORWAYS REQUIRED. WORK AREAS SHALL BE PROVIDED WITH TWO EGRESS DOORWAYS IN ACCORDANCE WITH THE REQUIREMENTS OF S.805.4.1.1 AND 805.4.1.2. OCCUPANT LOAD AND TRAVEL DISTANCES, DOOR SWINGS AND PANIC HARDWARE SHALL COMPLY WITH S.805.4.1.1 THROUGH 805.4.4 AS AMMENDED, 805.7 MEANS OF EGRESS LIGHTING, MEANS OF EGRESS LIGHTING SHALL COMPLY W/ IBC 805.8 EXIT SIGNS. EXIT SIGNS SHALL COMPLY W/IBC 805.9 HANDRAILS. HANDRAILS IN THE WORK AREA SHALL COMPLY WITH THIS SECTION.

SECTION 806 AS AMENDED ACCESSIBILITY. ACCESSIBILITY REQUIREMENTS SHALL BE IN ACCORDANCE WITH 521 CMR.

SECTION 807 AS AMENDED STRUCTURAL. THE STRUCTURAL SCOPE OF WORK WILL COMPLY WITH THIS SECTION. NEW ELEMENTS SHALL COMPLY WITH THE IBC SECTION 810 AS AMENDED ELECTRICAL. THE ELECTRICAL SCOPE OF THIS WORK WILL COMPLY WITH THIS SECTION.

SECTION 809 AS AMENDED MECHANICAL. THE MECHANICAL SCOPE OF THIS WORK WILL COMPLY WITH THIS SECTION.

SECTION 811 AS AMENDED - ENERGY CONSERVATION - NEW CONSTRUCTION ONLY WILL COMPLY ENERGY REQUIREMENTS OF THE IECC, LATEST EDITION

CHAPTER 11 - ADDITIONS, AS AMENDED BY 780 CMR - 9TH ED.

SECTION 1101 - GENERAL 901.1 SCOPE. AN ADDITION TO A BUILDING OR STRUCTURE SHALL COMPLY WITH THE INTERNATIONAL CODES FOR NEW CONSTRUCTION. WITHOUT REQUIRING THE EXISTING BUILDING OR STRUCTURE TO COMPLY WITH THOSE CODES, EXCEPT AS REQUIRED BT THIS CHAPTER. WHERE THE ADDITION IMPACTS THE EXISTING BUILDING, THAT PORTION SHALL COMPLY WITH THIS CODE.

1101.2 CREATION OR EXTENSION OF NON-CONFORMITY AN ADDITION SHALL NOT CREATE OR EXTEND ANY CONCONFORTMITY IN THE EXISTING BUILDING TO WHICH THE ADDITION IS BEING MADE WITH REGARD TO ACCESSIBILITY, , STRUCTURAL STRENGTH, FIRE SAFETY, EGRESS, OR CAPACITIES OF MEP/FP SYSTEMS.

1101.3 OTHER WORK ANY REPAIR OR ALTERATION WORK WITHIN AN EXISTING BUILDING TO WHICH THE ADDITION IS BEING MADE SHALL COMPLY WITH THE REQ'T.S FOR THE WORK AS CLASSIFIED IN CHAPTER 5

SECTION 1102 - HEIGHT AND AREA LIMITATIONS

SECTION 1102.1 - HEIGHTS LIMITATIONS. NO ADDITION SHALL INCREASE THE HEIGHT OF AN EXISTING BUILDING BEYOND THAT PERMITTED UNDER IBC CHAPTER 5 APPLICABLE PROVISIONS FOR NEW BUILDINGS

SECTION 1102.2 - AREA LIMITATIONS. NO ADDITION SHALL INCREASE THE AREA OF AN EXISTING BUILDING BEYOND THAT PERMITTED UNDER IBC CHAPTER 5 APPLICABLE PROVISIONS FOR NEW BUILDINGS UNLESS FIRE SEPARATIONS ARE PROVIDED PER IBC

SECTION 1102.3 - FIRE PROTECTION. EXISTING FIRE AREAS INCREASED BY THE ADDITION SHALL COMPLY W/CH. 9 OF THE IBC

SECTION 1103.1 - STRUCTURAL AN ADDITION TO A BUILDING OR STRUCTURE SHALL COMPLY WITH THE IBC FOR NEW CONSTRUCTION SECTION 1103.2 - ADD'L. GRAVITY LOADS. EXISTING ELEMENTS SUPPORTING ADD'L LOADS AS RESULT OF ADDITIONS SHALL COMPLY WITH IBC.

• EXCEPTION 1: STRUCTURAL ELEMENTS WHOSE STRESS IS NOT INCREASED BY MORE THAN 5% SECTION 1103.3 - LATERAL SYSTEMS SHALL COMPLY WITH SECTIONS 1103.3., 1103.3.2, & 1103.3.3

EXISTING ELEMENTS SUPPORTING ADD'L LOADS AS RESULT OF ADDITIONAL SNOW AS A RESULT OF THE ADDITION SHALL COMPLY WITH IBC. EXCEPTION 1: STRUCTURAL ELEMENTS WHOSE STRESS IS NOT INCREASED BY MORE THAN 5%

SECTION 1106.1 - MIN. REQUIREMENTS. ADDITIONS TO EXISTING BUILDINGS SHALL CONFORM TO ENERGY REQUIREMENTS OF THE iec... AS THEY RELATE TO NEW

SECTION 1105 - ACCESSIBILITY SECTION 1105.1 - MIN. REQUIREMENTS. ACCESSIBILITY PROVISIONS FOR NEW CONSTRUCTION SHALL APPLY TO ADDITIONS. AN ADDITION THAT AFFECTS THE ACCESSIBILITY TO, OR CONTAINS AN AREA OF, PRIMARY FUNCTION SHALL COMPLY W/ REQT.S OF SECTION 705, 806, & 906.

### BUILDING CODE REVIEW

BUILDING CODE COMPLIANCE REVIEW MATRIX

Interior Office Space Renovations – Park Plymouth/P.G.D.C. PROJECT: Project No.

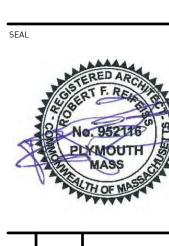
R2 20710.1 4 North Street, Plymouth, MA

LOCATION: DATE:

CODE COMPLIANCE				
REVIEW -	780 CMR-MA State Building Code (201)	5		
TENA	IBC as amended)	ACTUAL		
	ALLOWABLE/REQUIRED Mixed Use: (B) Business, (A-2) Assembly	ACTUAL v		
OCCUPANCY		,		
	Note: Per S. 508.2 (A-2) qualifies as an "Accessory" occupancy			
Ch. 3-S.302				
Ch 2: Coo 200 211				
Ch. 3: Sec. 309, 311 Ch. 5: Sec. 508.3				
Ch. 5: Table 508.4				
Mixed Use &	The space qualifies as "Non-Separated", and therefore the most restrictive of the			
Occupancy	occupancies shall apply, which is , (B) B	usiness		
Ch. 5 Sec. 508.3				
Sec. 506.3 Sec. 508.2.4		1		
	Type 2B, "S"/Sprinklered, (B) Occ:	Building is 1 story/20'		
Height	• 75'/ 2 stories	<ul> <li>no additional height to be added,</li> </ul>		
Ch. 5: Table 504.3,		conforms		
Table 504.4	Type 2D "C"/ Continued and /D\ O	7 0.000.07		
Allowable Building	Type 2B, "S"/ Sprinklered, (B) Occ: • 92,000 sf	• Total: 3,680 SF		
Area Ch. 5: Table 506.2	- 32,000 51	• conforms		
TYPE OF	Existing 1-story building construction: Ty	pe 2B		
CONSTRUCTION				
Ch. 6,	Determination based on the review of $\epsilon$	existing construction drawings and on		
Sec. 601	survey of the building	existing construction drawings and on s		
Sec. 602.4				
INTEDIOD EINIGHES	All decorative materials and finishes sha	all meet the requirements as outlined in		
Ch. 8	IBC sections 801, 803, 804, and 806 (No			
	"Work areas")			
• Exit	Class B	Shall comply		
enclosures				
&exit passageways				
Corridors	Class C	Shall comply		
• Rooms and	Class C	Shall comply		
enclosed spaces				
FIRE PROTECTION	The General Contractor, Fire Protection	Contractor and Electrical Contractor		
SYSTEMS	shall conform to IBC 2015 and coordinate			
Ch. 9	for the Town of Plymouth for all fire aları	m systems requirements prior to the		
	work.			
DECICAL COCUDANIE				
DESIGN OCCUPANT LOAD				
Ch. 10: – Table				
1004.1.2				
CODE COMPLIANCE	B: 100 sf/person Gross	18 occupants		
REVIEW -	·	(Ref. Code Review Floor Plans)		
	A-2: 15 sf/person Gross	17 Occupants		
	(Unconcentrated (tables and chairs)	(Ref. Code Review Floor Plans)		
		Total: 25 Occurrents		
		Total: 35 Occupants		
	Notes:			
	1. N/A			
	780 CMR-MA State Building Cod	e (2015 IBC as amended)		
	780 CMR-MA State Building Cod	e (2015 IBC as amended)		

MEANS OF EGRESS Ch. 10:		
Egress Width: S. 1005 Egress width per	Other components: 0.2in./occ. (i.e., Doors) •	Final design meets or exceeds requirements:
occupant served (Stairways and other egress components)		<ul> <li>Reference Floor Plans in Construction Dwg. set</li> </ul>
Doors, Gates, & Turnstiles: Sect. 1010		
• 1010.1.1 – Door leaf size req'ts.		Ref. Door Schedule in Construction Dwg. set (A-601)
• Req'd # of exits per Space	Two exits/exit access doorways per space (min.) shall be provided as required per Section 1006.2.1 (w/exceptions)  Note: Each tenant unit/space has maximum occupant load of 49 or less. Therefore 1 exit access doorway is required.	Final design meets or exceeds requirements: • Reference Egress Floor Plans in Construction Dwg. set
• Exit Separation S.1007.1.1	Where two exits are req'd., exit access doorways shall be placed a distance apart equal to not less than one-half of the length of the maximum overall diagonal dimension of the area to be served.  (Exception: Where building is sprinklered, separation is no less than 1/3 of the length of the maximum overall diagonal dimension of the area to be served.)	Final design meets or exceeds requirements: • Reference Egress Floor Plans in Construction Dwg. set
• Req'd # of exits per Story S.1006.3.1	Two exits/exit access doorways per story (min.) shall be provided as required per Section 1006.3.1 (w/exceptions)	Final design meets or exceeds requirements: • Reference Egress Floor Plans in Construction Dwg. set
1017 – Max. travel distance Table 1017.2	"B" Occupancy, W/ Sprinkler: 300'     "A-2" Occupancy, W/ Sprinkler: 250'	Final design exceeds requirement: • Reference Egress Floor Plan
MEANS OF EGRESS: EXIT SIGNS, LIGHTS, AND EMERGENCY	Exit signs and lights: The Electrical Design contr providing the same in accordance with noted IBC Means of Egress and Emergency lighting: The E responsible for providing the same in accordance	C sections, MEC, and NEC.  Electrical sub-contractor shall be
LIGHTING (2015 IBC 1008, 1013)	Toponsion for providing the Same in accordance	o will ibo, oni -o, alia NEO.
CHAPTER 16: SEISMIC BRACING TABLES	All Structural, Mechanical, Fire Protection, Plum shall be in conformance with 2015 IBC for seism	bing, and Electrical systems ic bracing.
HANDICAP ACCESSIBILITY	This building is open to the public, therefor it is w Handicap accessibility shall conform to the MAA Amendments, & ADAAG	•

MEANS OF EGRESS



/29/21 CONSTRUCTIO REVISION

EGRESS PLANS

oace Renovation Plymouth

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See Plymouth

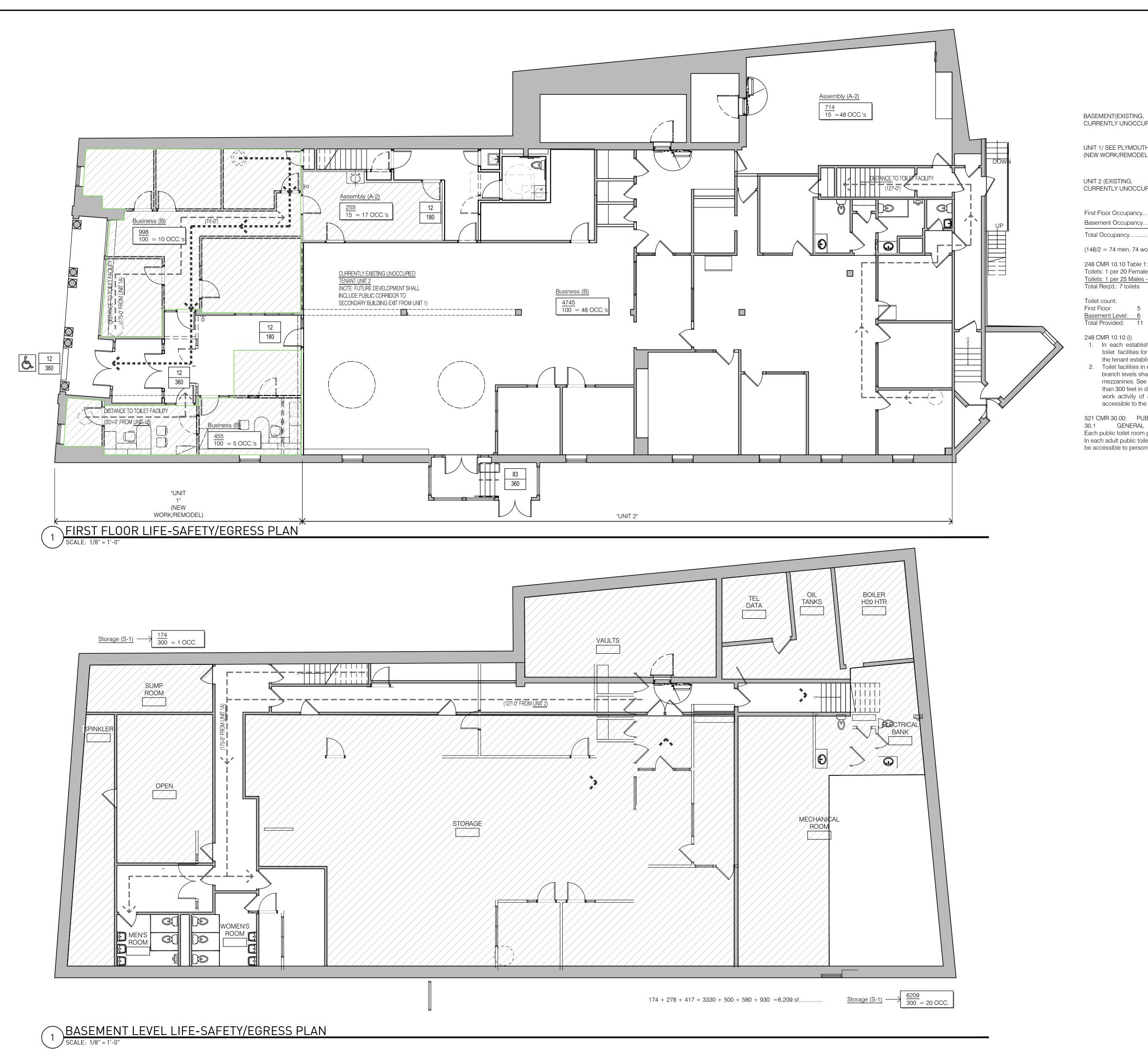
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Storage (S-1) BASEMENT(EXISTING, 20 Occupants CURRENTLY UNOCCUPIED): Business (B) Business (B) Assembly (A-2)  $\frac{455}{100} = 5$  OCC.'s  $\frac{998}{100} = 10 \text{ OCC.'s}$  $\frac{255}{15} = 17 \text{ OCC./s}$ UNIT 1/ SEE PLYMOUTH 32 Occupants (NEW WORK/REMODEL): Assembly (A-2)  $\frac{714}{15} = 48 \text{ OCC./s}$ 96 Occupants CURRENTLY UNOCCUPIED):

First Floor Occupancy... ...128 Occupants Basement Occupancy... ....20 Occupants ...148 Occupants

(148/2 = 74 men, 74 women)

248 CMR 10.10 Table 1: Employee (Non-Industrial) req'ts.: Toilets: 1 per 20 Females - 74/20= 4 toilets req'd. Toilets: 1 per 25 Males - 74/25 = 3 toilets req'd.
Total Req'd.: 7 toilets

1. In each establishment where people are employed, there shall be separate toilet facilities for male and female employees. The toilet facilities shall be located in the tenant establishment and shall be plainly designated for male or females. 2. Toilet facilities in establishments referred to in 248 CMR 10.10(18)(j)1. within two branch levels shall be acceptable. Toilet facilities shall not be required for mezzanines. See 248 CMR 10.03. In no case may a toilet facility be located more than 300 feet in developed direct distance away from the regular place of daily work activity of any person for whose use it is required. Except where elevators accessible to the employees are provided.

521 CMR 30.00: PUBLIC TOILET ROOMS

Each public toilet room provided on a site or in a building shall comply with 521 CMR. a. In each adult public toilet room, at least one water closet and one sink in each location shall be accessible to persons in wheelchairs,

SYMBOL LEGEND

ACCESSIBLE AREA OR EXIT

300 = 25 OCC.

EXIT CAPACITY

ALLOWABLE)

CUMULATIVE FROM MULTIPLE

300' MAX.
(ACTUAL DIST.)

S.F./OCC



Space Renovations ee Plymouth

Office So

See Plymouth

4 North Street

Plymouth MA 02360

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7/29/21 construction REVISION

**207**10.1

CODE REVIEW & EGRESS PLANS

CR001

<u>CH. 10 - 1004.1.2</u>

AREA OCCUPANCY LOAD

EXIT ACCESS DISTANCE: MAXIMUM TRAVEL
DISTANCE FROM FURTHEST POINT (200
FEET=MAXIMUM ALLOWABLE TRAVEL
DISTANCE IN W/ NO SPRINKLER)

TOILET FACILITIES DISTANCE: MAXIMUM
TRAVEL DISTANCE FROM "REGULAR PLACE
OF WORK ACTIVITY" (300 FEET=MAXIMUM

#### GENERAL

- 1.A. SUBMIT FOR APPROVAL SELECTIVE DEMOLITION SCHEDULE, INCLUDING SCHEDULE AND METHODS FOR CAPPING AND CONTINUING UTILITY SERVICES.
- 1.B. USE ADEQUATE NUMBERS OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK OF THIS SECTION.
- 1.C. ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE DIVISION OF INDUSTRIAL SAFETY, OSHA, 29 CMR 10 AND ALL OTHER LOCAL, STATE AND FEDERAL AGENCIES AND AUTHORITIES HAVING JURISDICTION.
- 1.D. THE DEMOLITION CONTRACTOR SHALL COORDINATE AND BE RESPONSIBLE FOR ALL TOWN OF PLYMOUTH & STATE OF MASSACHUSETTS REQUIREMENTS FOR PROTECTION OF PERSONS, PROPERTY, TRAFFIC, CONTROL, BARRICADES, TEMP. LIGHTING, ETC. FOR THE DURATION OF THE DEMOLITION CONTRACT.
- 1.E. GENERAL CONTRACTOR TO PROVIDE AND COORDINATE A SCHEDULE FOR DEMOLITION WITH SPECIFIC ITEMS TO CONFORM WITH SCHEDULING FOR OTHER TRADES REQUIRED TO COMPLETE OR PERFORM A DIRECTLY RELATED PORTION OF WORK. THE G.C. SHALL COORDINATE WITH OWNER AND ABUTTERS REGARDING DEMOLITION, NOISE, INTRUSIVE LIGHTING, ETC. PRIOR TO CONSTRUCTION AT A PRE-CONSTRUCTION CONFERENCE.

#### 2. HANDLING

- 2.A. WHEN THE NATURE OF DEMOLITION WORK REQUIRES THEIR USE, ERECT AND MAINTAIN DUST CHUTES & BARRIERS FOR THE DISPOSAL OF MATERIALS, RUBBISH, AND DEBRIS.
- 2.B. REMOVE AND SALVAGE DEBRIS FROM THE SITE AS IT ACCUMULATES ON A DAILY BASIS. DO NOT STORE, SELL, BURN, OR OTHERWISE DISPOSE OF DEBRIS ON THE SITE. REMOVE ALL MATERIALS IN SUCH A MANNER AS TO PREVENT SPILLAGE. KEEP ALL PAVEMENTS AND AREAS ADJACENT TO AND LEADING FROM THE SITE, CLEAN AND FREE OF MUD, DIRT, AND DEBRIS AT ALL TIMES. ALL MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER OFF-SITE.
- 2.C. ERECT AND MAINTAIN TEMPORARY BRACING, SHORING, LIGHTS, PARTITIONS, BARRICADES, WARNING SIGNS, LIGHTS, AND GUARDS NECESSARY TO PROTECT ADJACENT BUILDING OCCUPANTS, AND WORKERS FROM INJURY, AND/OR DAMAGE, ALL IN ACCORDANCE WITH APPLICABLE RULES AND REGULATIONS.
- 2.D. DO NOT DAMAGE BUILDING ELEMENTS AND IMPROVEMENTS INDICATED TO REMAIN. ITEMS OF SALVAGE VALUE WHICH ARE NOT INCLUDED ON SCHEDULE OF SALVAGE ITEMS TO BE RETURNED

TO OWNER SHALL BE REVIEWED WITH OWNER AS TO WHETHER THEY CAN BE REMOVED FROM THE PREMISES. STORAGE OR SALE OF ITEMS AT PROJECT SITE IS PROHIBITED. DEMOLISHED MATERIAL SHALL BE COMPLETELY REMOVED FROM THE SITE AND DISPOSED OF USING LEGAL METHODS.

- 2.E. DO NOT CLOSE OR OBSTRUCT THE MEANS OF EGRESS, CORRIDORS, OR OTHER OCCUPIED SPACES. REVIEW ANY SEQUENCE OR PHASING ISSUES W/ BKA ARCHITECTS AND OWNER'S PROJECT REPRESENTATIVE. DO NOT INTERRUPT UTILITIES WITHOUT THE WRITTEN PERMISSION OF THE OWNER OR AUTHORITIES HAVING JURISDICTION. IF NECESSARY, PROVIDE TEMPORARY UTILITIES.
- CEASE OPERATIONS IF PUBLIC SAFETY OR REMAINING STRUCTURES ARE ENDANGERED. PERFORM TEMPORARY CORRECTIVE MEASURES UNTIL OPERATIONS CAN BE CONTINUED PROPERLY.

#### 3. SEQUENCING AND EXECUTION

- 3.A. AFTER CAREFUL STUDY OF THE CONTRACT DOCUMENTS, DETERMINE THE LOCATION AND EXTENT OF SELECTIVE DEMOLITION TO BE PERFORMED.
- VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED
- 3.C. PREPARE AND FOLLOW AN ORGANIZED PLAN FOR DEMOLITION AND REMOVAL OF ITEMS. 3.C.1. SHUT OFF, CAP, AND OTHERWISE PROTECT EXISTING UTILITY LINES IN ACCORDANCE WITH THE REQUIREMENTS OF THE PUBLIC AGENCY OR UTILITY HAVING JURISDICTION. NOTIFY
  - 3.C.2. COMPLETELY REMOVED ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED. LEAVING SURFACES CLEAN, SOLID, AND READY TO RECEIVE NEW MATERIALS SPECIFIED ELSEWHERE. IN ALL ACTIVITIES, COMPLY WITH PERTINENT REGULATIONS & GOVERNMENTAL AGENCIES
- 3.F. IN THE EVENT DEMOLITION OF ITEMS NOT SO SCHEDULED TO BE DEMOLISHED, PROMPTLY

- COST OR TIME TO THE OWNER.
- 3.G. WHERE EXISTING CONSTRUCTION TO REMAIN IS AFFECTED BY DEMOLITION OR INSTALLATION OF NEW WORK, PATCH, REPAIR OR REPLACE THE WORK AT SURFACES WHICH HAVE BEEN DAMAGED AND FINISH TO MATCH EXISTING (T.M.E.) ADJACENT CONSTRUCTION.
- 3.H. FINISH NEW AND EXISTING SURFACES AS SCHEDULED. CLEAN EXISTING SURFACES OF DIRT, GREASE, AND LOOSE PAINT BEFORE REFINISHING.
- COORDINATE THE REMOVAL, RELOCATION, REPLACEMENT, RE-USE, SHUT-OFF, STUB-OFF, CAPPING-OFF. OR UPGRADING OF ALL EXISTING. PLUMBING. HVAC. FIRE ALARM. SECURITY AND ELECTRICAL SYSTEMS, EQUIPMENT, AND APPURTENANCES - INCLUDING, BUT NOT LIMITED TO, UTILITY LINES, DUCTS, CONNECTIONS, PANELS, VENTS, FANS, PIPING, DEVICES, CONTROLS, OUTLETS, AND CONDUIT DURING CONSTRUCTION AS REQUIRED, AS SCHEDULED, OR AS SPECIFIED IN ACCORDANCE WITH ALL LOCAL, MUNICIPAL AND STATE CODES TO SUIT THE WORK.

#### 4. SCOPE

- 4.A. ITEMS TO BE DEMOLISHED AND REMOVED INCLUDING BUT NOT LIMITED TO: 4.A.1. ITEMS AS DELINEATED ON IN THE DRAWINGS AND NOTES HEREIN
- 4.B. REMOVAL OF HAZARDOUS MATERIALS:
- 4.B.1. IN THE EVENT THAT HAZARDOUS MATERIALS ARE UNCOVERED DURING DEMOLITION WHICH HAVE NOT BEEN RENDERED HARMLESS, THE G.C. SHALL IMMEDIATELY STOP WORK IN THE AREA AFFECTED AND REPORT THE CONDITION TO THE OWNER AND ARCHITECT IN WRITING. WORK SHALL NOT BE RESUMED UNTIL THE MATERIAL IS RENDERED HARMLESS.
- 4.B.2. G.C. SHALL COORDINATE THE HIRING OF A TESTING AGENCY WITH THE OWNER. THE OWNER SHALL CONTRACT WITH THE TESTING AGENCY DIRECTLY. THE G.C. SHALL IDENTIFY THE SUSPECT MATERIAL FOR THE AGENCY AND COORINDATE THE TESTING WITH HIS WORK AND THE CONSTRUCTION SCHEDULE. G.C. FORWARD ALL TESTING REPORTS AND DOCUMENTATION INDICATING REMOVAL OF HAZARDOUS MATERIALS TO OWNER AND ARCHITECT.
- 4.B.3. IN THE EVENT THE TESTING RESULTS INDICATE A HAZARDOUS MATERIAL. THE G.C. SHALL COORDINATE THE HIRING OF AN ABATEMENT COMPANY WITH THE OWNER. THE OWNER SHALL CONTRACT DIRECTLY WITH THE ABATEMENT COMPANY. THE G.C. SHALL COORDINATE THE ABATEMENT WITH HIS WORK AND THE CONSTRUCTION SCHEDULE. FINAL ABATEMENT REPORTS INDICATING THE REMOVAL OF HAZARDOUS MATERIALS SHALL BE FORWARDED TO THE OWNER AND THE ARCHITECT.

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& SPECIFICATIONS

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PRIOR TO STARTING THE WORK.

3.B.1. CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION.

3.B.2. MARK INTERFACE SURFACES AS REQUIRED TO ENABLE WORKMAN TO ALSO IDENTIFY ITEMS TO BE REMOVED, ITEMS TO BE LEFT IN PLACE INTACT, ITEMS TO BE SALVAGED AND/OR FOR REUSE AND RELOCATION, AND ITEMS TO BE REMOVED AND SORTED FOR RECYCLING.

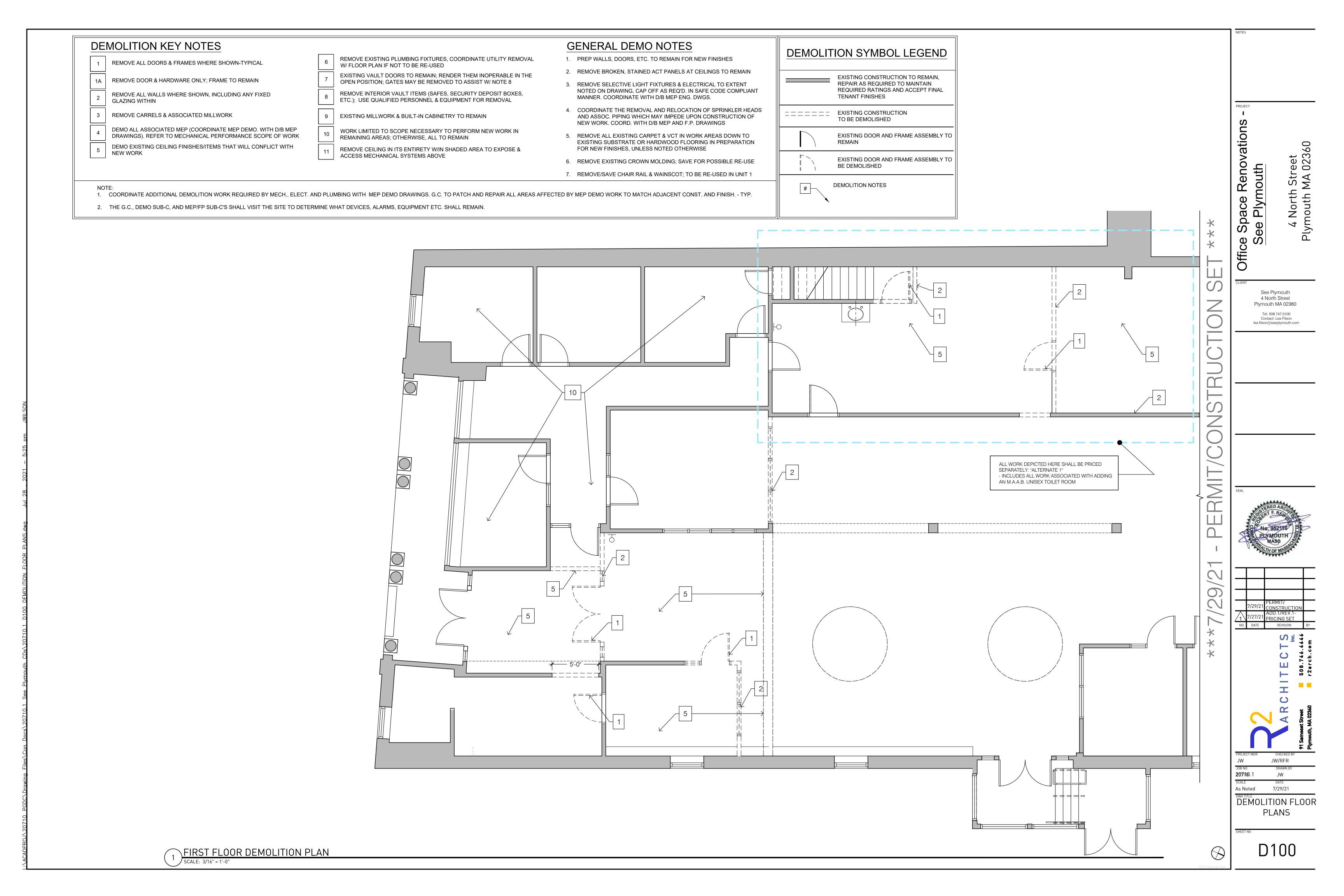
DIG-SAFE AND TOWN OF PLYMOUTH PRIOR TO EXCAVATION.

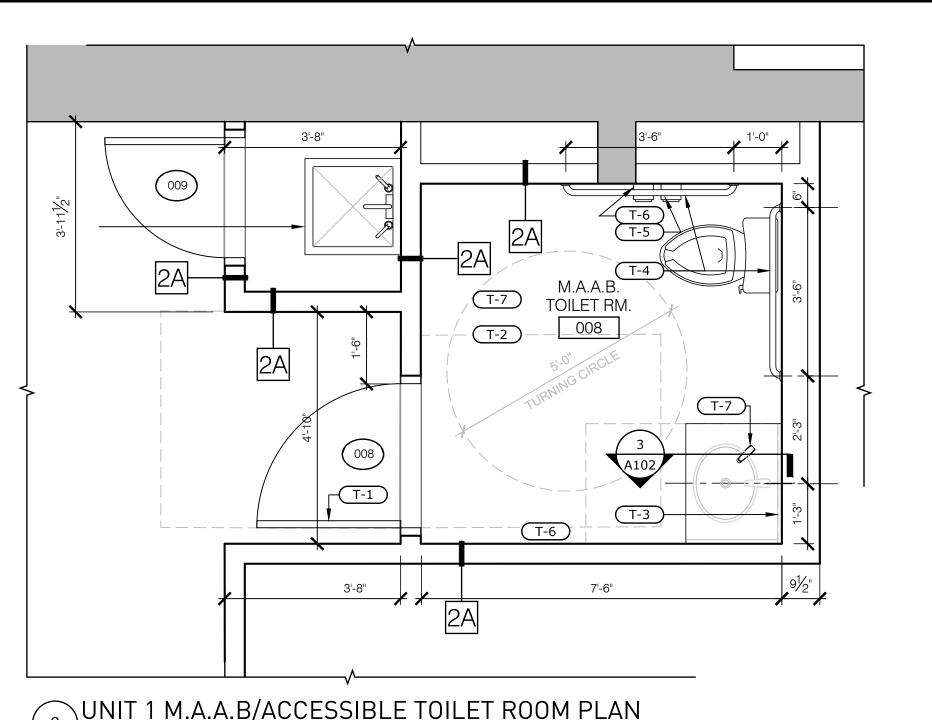
HAVING JURISDICTION.

3.D. USE MEANS NECESSARY TO PREVENT DUST BECOMING A NUISANCE TO WORKERS IN THE

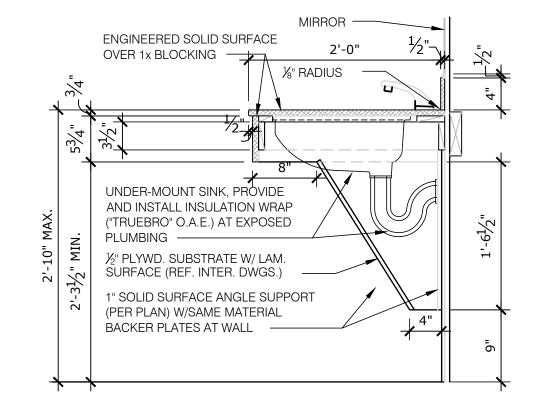
BUILDING, THE PUBLIC, NEIGHBORING BUILDINGS, AND TO OTHER WORK BEING PERFORMED. SCHEDULE & EXECUTE DEMOLITION WORK TO ENSURE SAFETY OF PERSONS AND ADJACENT PROPERTY AGAINST DAMAGE BY WIND-BLOWN OR FALLING DEBRIS.

REPLACE SUCH ITEMS TO THE APPROVAL OF THE ARCHITECT AT NO ADDITIONAL INCREASE IN



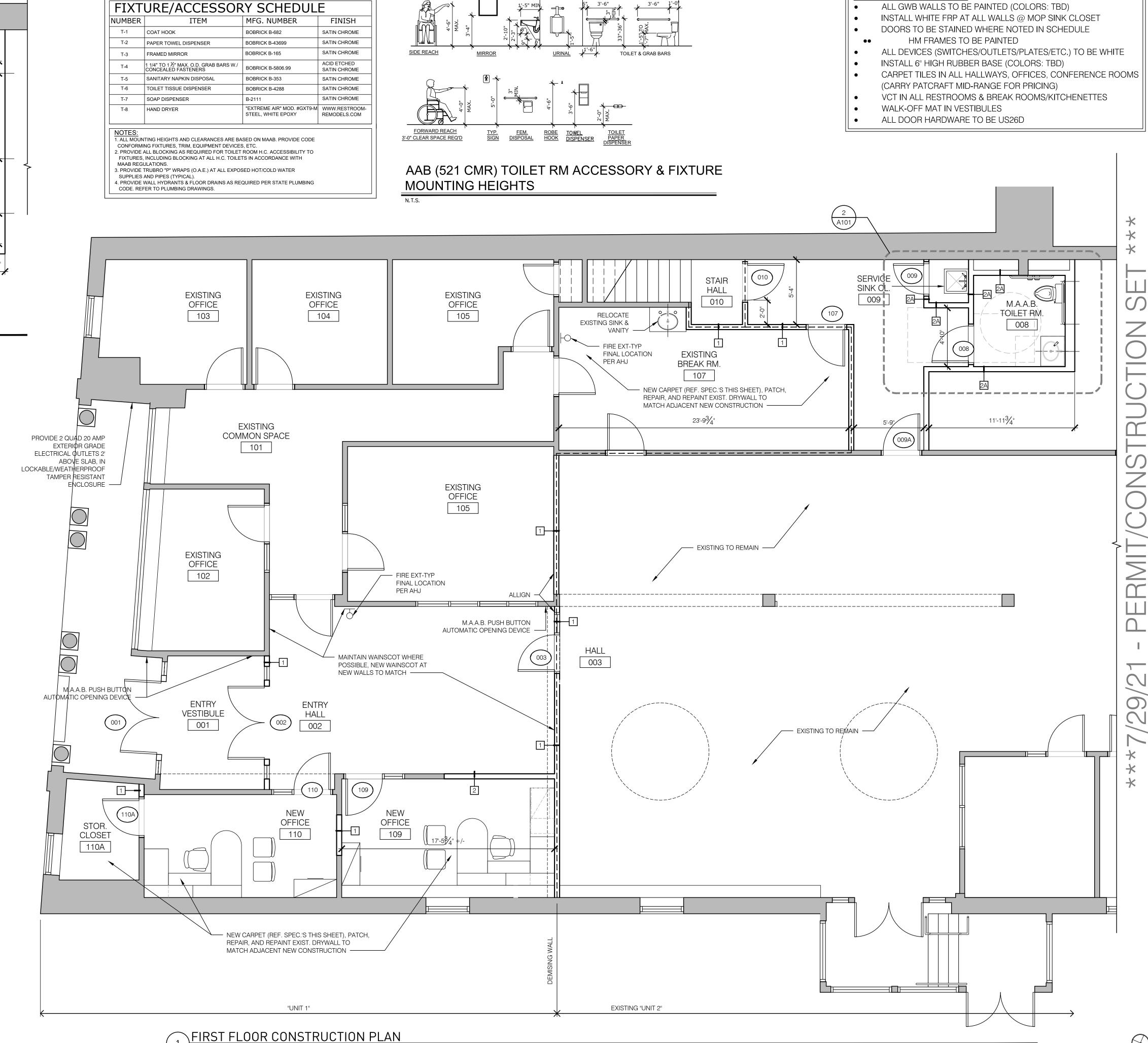


UNIT 1 M.A.A.B/ACCESSIBLE TOILET ROOM PLAN



SECTION DETAIL @ VANITY

SCALE: 1" = 1'-0"



ALL GWB WALLS TO BE PAINTED (COLORS: TBD)

GENERAL FINISHES:

Renovations Space Renovee Plymouth Office S(

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CONSTRUCTION FLOOR PLAN

A101

CEILING TYPE SCHEDULE			REFLECTED CEILING PLAN LIGHTING LEGEND			
2"X4"X¾" ARMSTRONG - DUNE "SECOND LOOK" (PATTERN 2) No.: 2711, ¼ ANGLED TEGULAR COLOR: WHITE	TYPE 3: 5/8" PAINTED G.W.B. SUSPENDED ON 1-1/2" STEEL CHANNELS @ 4'-0" ON CENTER MAX. AND 7/8" FURRING CHANNELS AT 2'-0" ON CENTER. TAPE, COMPOUND, SAND, AND PAINT TO FINISH (LEVEL 4 FINISH).	L1	24" x 48" DIRECT/INDIRECT L.E.D. FIXTURE: T5H0, 35K 24" x 48" L.E.D. FIXTURE W/ ACRYLIC LENS	X'-X" A.F.F.  TYPE X  P <sub>1</sub>	CEILING HEIGHT ABOVE FINISH FLOOR CEILING FINISH/TYPE  DECORATIVE PENDANT	
GRID: $\frac{15}{16}$ " PRELUDE $\frac{ACT}{2}$ 2"X4"X $\frac{3}{4}$ " ARMSTRONG - DUNE	TYPE 3A: SIMILAR TO TYPE 2A WITH 5/8" M.R.G.W.B. SOFFIT / CEILING  TYPE 3B: PATCH/INFILL & REPAIR EXIST. G.W.B., SAND & PAINT TO FINISH	L2	24" x 24" DIRECT/INDIRECT L.E.D. FIXTURE:	♥P1  ©C1	4.5" RECESSED COMPACT L.E.D. FIXTURE W/ WHITE TRIM	
TYPE 2  No.: 1796, 16/16 SQUARE LAY-IN  COLOR: WHITE  GRID: 15/16 PRELUDE XL			24" x 24" L.E.D. PENDANT UTILITY FIXTURE:	© <sub>C2</sub>	6" RECESSED COMPACT L.E.D. FIXTURE W/ WHITE TRIM:	
		L5	8' L.E.D. UTILITY PENDANT FIXTURE (TO REPLACE EXISTING FIXTURES) (*ALTERNATE: INSTALL NEW L.E.D. LAMPING IN EXIST. FIXTURES)	© <sub>C3</sub>	6" SEMI-RECESSED COMPACT L.E.D. FIXTURE W/ WHITE TRIM:	
		L7	UNDER-CABINET L.E.D. STRIP LIGHTING FIXTURE	$\Psi_{\text{W1}}$	DECORATIVE WALL SCONSE	

# GENERAL REFLECTED CEILING PLAN NOTES

1.) <u>LIGHTING SHOWN ON THIS PLAN IS DIAGRAMMATIC AND FOR DESIGN INTENT ONLY.</u> MEP CONTRACTOR TO COORD. FINAL FIXTURE AND EQUIPMENT LOCATIONS, TYPES, REQUIREMENTS AND SPECIFICATIONS.

2.) THE G.C. SHALL COORDINATE THE WORK OF ALL SUBCONTRACTORS FOR ABOVE-CEILING WORK INCLUDING, BUT NOT LIMITED TO: DUCTWORK, EQUIPMENT, DEVICES, AND CEILING-MOUNTED EQUIPMENT.

3.) REF. MEP/FP DWGS. FOR FINAL EMERGENCY LIGHT, EXIT SIGN AND LIGHT LOCATIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN LIGHTING LOCATIONS OR TYPE.

4.) REF. MEP/FP DWGS. TO COORD. SPRINKLER DESIGN, LAYOUT, AND CONFORMANCE TO ALL APPLICABLE CODES.

5.) MECHANICAL EQUIPMENT IS SHOWN ON THIS SHEET FOR LOCATION ONLY. REFER TO MEP DRAWINGS FOR FIXTURE TYPES, REQUIREMENTS AND SPECIFICATIONS.

6.) REFER TO THE REFLECTED CEILING PLANS FOR CEILING HEIGHTS.

7.) INSTALL MATERIALS AND SUSPENSION SYSTEMS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, AS WELL AS ASTM C 636. COORDINATE THE INSTALLATION WITH THE MECHANICAL AND ELECTRICAL WORK TO ENSURE PROPER LOCATIONS.

8.) LEVEL THE CEILING TO WITHIN 1/8" IN 10 FEET IN BOTH DIRECTIONS. SCRIBE AND CUT PANELS TO FIT ACCURATELY. MEASURE AND LAYOUT TO AVOID LESS-THAN-HALF PANEL UNITS TO THE GREATEST EXTENT POSSIBLE. (6" MIN.) ADJUST, CLEAN, AND TOUCH-UP ALL SYSTEM COMPONENTS. U.N.O. CENTER SPRINKLER HEADS ON CEILING PANEL.

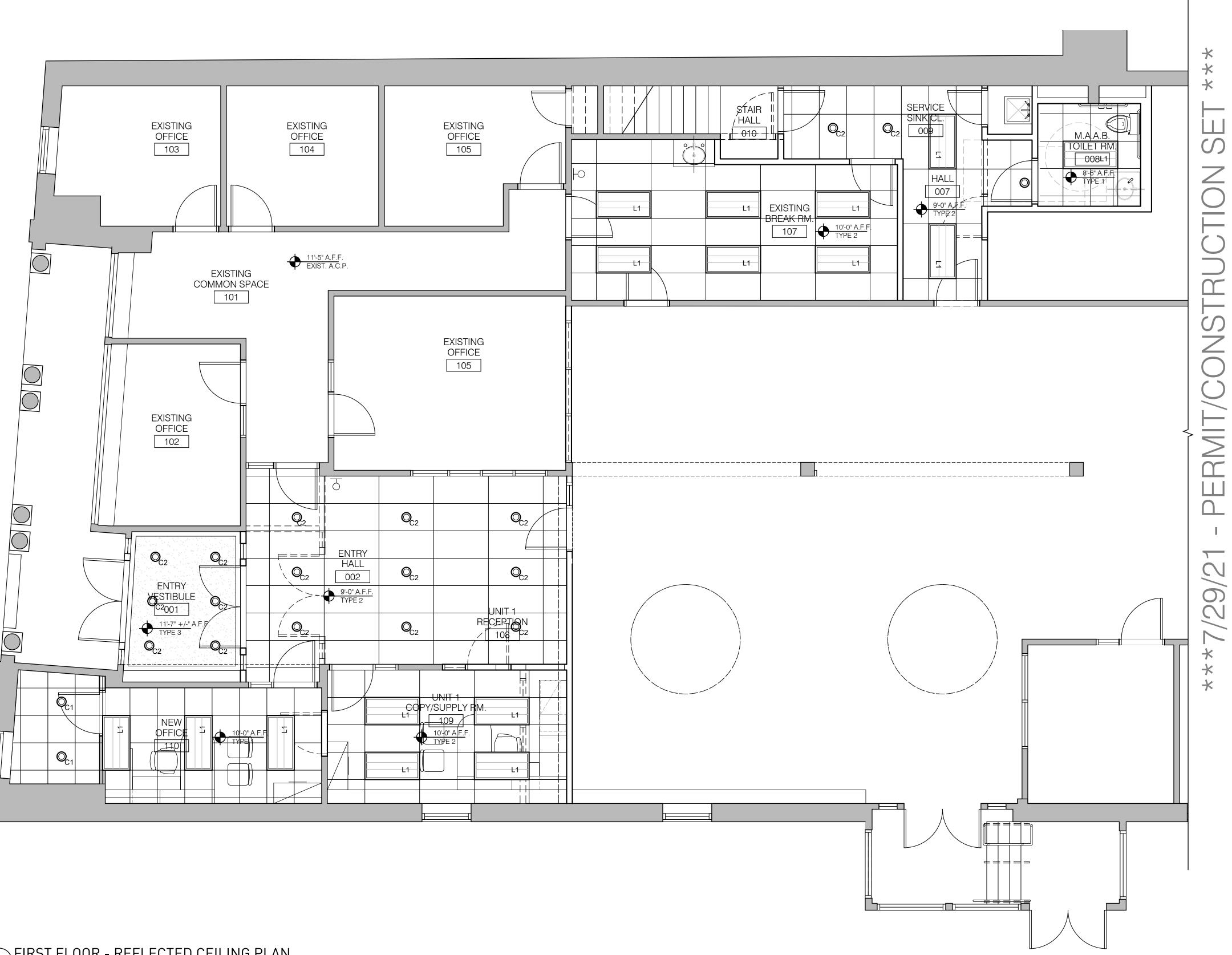
9.) CEILING TILE SHALL BE INSTALLED W/DOG EARS OR W/CUT REVEALS AT ALL PERIMETER WALLS T.M. PANEL REVEALS TYP..

10.) PROVIDE ALL MOLDINGS, TRIM, CLIPS, SEALANT, ACCESSORIES, ETC. AS REQUIRED FOR A COMPLETE INSTALLATION OF ALL CEILING SYSTEMS PER MFGR'S SPECIFICATIONS, RECOMMENDATIONS, & STANDARD DETAILS.

11.) PROVIDE HOLD DOWN CLIPS FOR CEILING PANELS AT ALL RATED LOCATIONS.

12.) PROVIDE WRAPPED AND LABELED MAINTENANCE STOCK OF NEW MATERIAL EQUAL TO 2% OF CEILING PANELS AND SUSPENSION SYSTEM INSTALLED.

13.) PROVIDE 10 YEAR WARRANTY ON ALL SUSPENSION A.C.P. CEILING SYSTEMS.



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7/29/21 PERMIT/
CONSTRUCTION
ADD.1/REV.1PRICING SET
NO. DATE REVISION BY

A R C H I T E

71 Samoset Street

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SCALE DATE

As Noted 7/29/21

REFLECTED CEILING PLAN

A121

FIRST FLOOR - REFLECTED CEILING PLAN

NOTE: PROVIDE WEATHER STRIPPING @ DOOR PERIMETER & THRESHOLD, ALL EXTER. DOORS

\*\* NOTE: G.C. COORD ROUGH OPENING SIZE TO MANUFACTURER'S RECOMMENDATIONS ACCORDING TO FINISH OPENINGS NOTED

#### **ALUMINUM STOREFRONT SYSTEM NOTES**

1.) EXTERIOR ALUMINUM ENTRANCE DOORS SHALL BE STILE-AND-RAIL TYPE, 1-3/4" THICK W/A 3-1/2" MEDIUM STILE WITH MECHANICALLY FASTENED AND REINFORCED JOINTS, COMPRESSION AND SLIDING WEATHERSTRIPPING, MODEL 350 SWING DOOR BY KAWNEER OR APPROVED EQUAL.

2.) EXTERIOR ALUMINUM DOOR FRAMING AND WINDOW SYSTEM SHALL BE 2"X6" UNITS FABRICATED FROM ALUMINUM EXTRUSIONS, ASTM B221, AND SHEET, ASTM B209, WITH THERMAL BREAK: TRIFAB 601T BY KAWNEER OR APPROVED EQUAL. FINISH TO BE SELECTED BY ARCHITECT, G.C. PROVIDE COLOR SAMPLES FOR SELECTION.

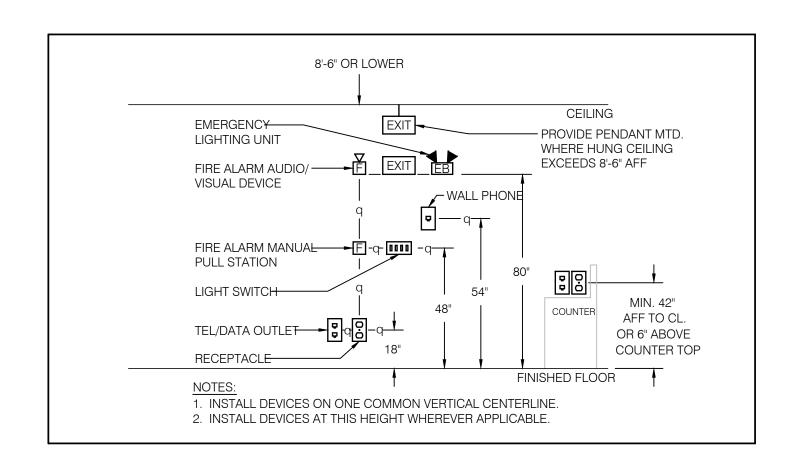
3.) GLAZING AT EXTERIOR STOREFRONT SYSTEM SHALL BE 1" THICK INSULATING GLASS UNIT, WITH SOLAR BAN 60 GLAZING AS MANUFACTURED BY PPG GLASS TECHNOLOGY.

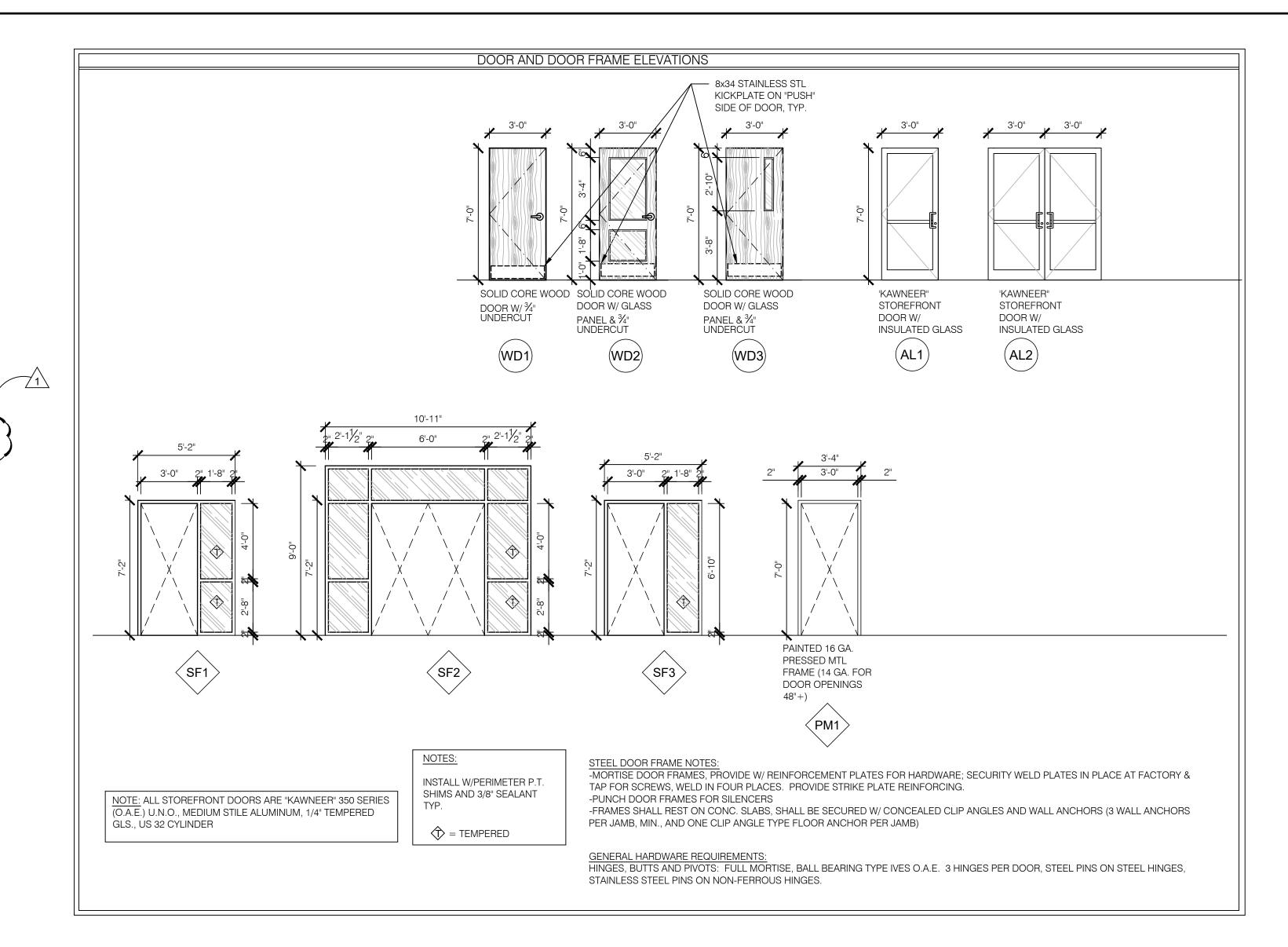
4.) VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO FABRICATION WHERE POSSIBLE. PROVIDE 3/8" SHIM AND SEALANT SPACE AT PERIMETER OF ALL FRAMES. 5.) INSTALL ALL MATERIALS AND SYSTEMS IN ACCORDANCE WITH MANUFACTURER'S STANDARD DETAILS, SPECS, INSTRUCTIONS AND REVIEWED SUBMITTALS. INSTALL MATERIALS AND SYSTEMS IN

PROPER RELATION WITH ADJACENT CONSTRUCTION AND WITH UNIFORM APPEARANCE. COORDINATE WITH THE WORK OF OTHER TRADES.

6.) ANCHOR SECURELY IN PLACE, INSTALL PLUMB, LEVEL, AND IN TRUE ALIGNMENT, WITH SHIMS AS REQUIRED. ISOLATE DISSIMILAR MATERIALS TO PREVENT CORROSION.

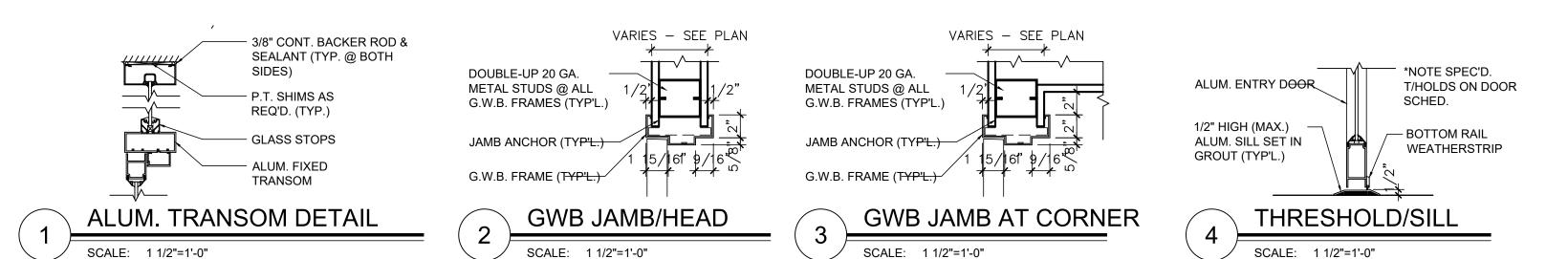
7.) COORDINATE WITH GLASS AND GLAZING WORK. INSTALL HARDWARE AND ADJUST FOR SMOOTH OPERATION. 8.) PROVIDE SHOP DRAWINGS SIGNED AND SEALED BY A MA REGISTERED P.E. DELINEATING STRUCTURAL AND WINDLOAD REQUIREMENTS.





#### DOOR AND GLAZING SYSTEM NOTES

- 1. ALL DOORS SHALL COMPLY WITH GOVERNING CODES AND REGULATIONS. PROVIDE PRODUCTS OF ACCEPTABLE MANUFACTURERS WHICH HAVE BEEN IN SATISFACTORY USE IN SIMILAR SERVICE FOR (3) YEARS. USE EXPERIENCED INSTALLERS. DELIVER, HANDLE, AND STORE MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. ALL DOORS SHALL CONFORM TO RISBC AND ADAAG REGULATIONS REGARDING OPERATION AND HARDWARE MOUNTING LOCATIONS.
- SUBMIT TO ARCHITECT FOR REVIEW/APPROVAL ALL SAMPLES, SHOP DRAWINGS, PRODUCT DATA, WARRANTY, SEALANTS, TEST REPORTS, FINISH, & ENG. CERTIFICATION THAT SYSTEM DESIGN MEETS FM-190 PRIOR TO BEGINNING THE FABRICATION PROCESS ON ANY WINDOW OR DOOR PRODUCT.
- PROVIDE FINISHED HARDWARE THROUGHOUT AS NEEDED FOR A COMPLETE AND PROPER INSTALLATION FOR SWINGING AND BIFOLD DOORS. HARDWARE QUALITY SHOULD BE HIGH-FREQUENCY FOR HIGH-TRAFFIC AREAS, AND MODERATE FREQUENCY FOR ALL OTHER LOCATIONS.
- THE G.C. SHALL PROVIDE THE SERVICES OF AN A.H.C. OR D.A.H.C. MEMBER OF THE AMERICAN SOCIETY OF ARCHITECTURAL HARDWARE CONSULTANTS TO PREPARE AND/OR REVIEW HARDWARE SCHEDULE PRIOR TO SUBMISSION TO ARCHITECT FOR APPROVAL. ALL HARDWARE SHALL BE STAINLESS STEEL COMMERCIAL GRADE US26D UNLESS NOTED OTHERWISE.
- 5. GENERAL HARDWARE REQUIREMENTS: HINGES, BUTTS, PIVOTS: FULL MORTISE, CONCEALED BALL BEARING TYPE - STANLEY O.A.E. (S.S. AT EXTERIOR DOORS) • LOCKSETS AND LATCHSETS: H.D. COMMERCIAL CYLINDRICAL LEVER SETS - SCHLAGE "SPARTA" OR SARGENT 10 LINE LL LEVER HANDLE DESIGN O.A.E.
- CLOSERS: KAWNEER LCN 4041 SUPER SMOOTHEE O.A.E. (ALL CLOSERS TO MEET ADAAG REGULATIONS)
- EXIT DEVICES: VON DUPRIN HIGH FREQUENCY O.A.E. (AAB COMPLIANT)
- DOOR TRIM: KICKPLATES AND PUSH/PULLS ROCKWOOD O.A.E.
- FLUSH BOLTS, SILENCERS, STOPS: IVES O.A.E.
- THRESHOLDS (1/2" MAXIMUM) AND WEATHERSTRIPPING: NATIONAL GUARD O.A.E.
- 6. PREPARE DOORS AND FRAMES, (2) PER HEADER OF DBL. DR FRAMES TO RECEIVE HARDWARE AS PER FINAL SCHEDULE. PROVIDE FOR (3) SILENCERS ON SINGLE DOOR FRAMES. PROVIDE NOT LESS THAN (3) ANCHORS PER JAMB FOR ANCHORING OF FRAMES TO WALLS OR PARTITIONS.
- ANY DOOR CARRYING A U.L. RATING SHALL BE INSTALLED IN A U.L. RATED FRAME WITH THE SAME DESIGNATION.
- 8. ALL ALUMINUM THRESHOLDS SHALL BE SET IN GROUT AND SHALL NOT EXCEED 1/2" IN HEIGHT PER ADAAG REGULATIONS. 9. INSTALL DOORS WITH NOT MORE THAN 1/8" CLEARANCE AT TOP AND SIDES, 1/4" CLEARANCE AT BOTTOM EXCEPT WHERE NOTED OTHERWISE.
- 10. INTERIOR SOLID CORE FLUSH WOOD DOORS SHALL BE AWI/WDMA PREMIUM GRADE 5-PLY (PC-5) CONSTRUCTION WITH PARTICLEBOARD CORES, 1-3/4" THICK. FINISH SHALL BE TRANSPARENT SHOP-FINISHED ON PLAIN SLICED
- BOOK-MATCHED VENEER FACES WITH CLEAR STAIN & 2 COATS POLYURETHANE, "MATTE" FINISH 11. COMPLY WITH WDMA/AWI/WIC WORKMANSHIP FOR VENEER FACES, VERTICAL EDGES, CROSSBANDS, HORIZONTAL EDGES AND DIMENSIONAL TOLERANCES. PREFIT DOORS TO FRAMES AND PREMACHINE FOR HARDWARE
- LISTED ON FINAL SCHEDULE. FACTORY BEVEL DOORS. 12. ALL INTERIOR METAL DOORS SHALL BE CONSTRUCTED OF 16 GAUGE COLD-ROLLED STEEL SEAMLESS, FULL FLUSH DESIGN, FACTORY PRIMED AND FIELD PAINTED.
- 13. ALL EXTERIOR METAL DOORS SHALL BE INSULATED AND CONSTRUCTED OF 16 GAUGE HOT-DIPPED GALVANIZED SHEET STEEL WITH A G60 COATING DESIGNATION, FULL FLUSH DESIGN, READY TO RECEIVE PAINT FINISH. ALL DOORS INSTALLED IN EXTERIOR WALLS SHALL BE FULLY WEATHERSTRIPPED.
- 14. DOOR FRAMES INSTALLED WITHIN A CONCRETE OR CMU WALL SHALL BE WELDED AND FULLY GROUTED SET WITH (3) ANCHORS PER JAMB. PRIOR TO GROUTING, COORDINATE ALL NECESSARY ROUGHS, INCLUDING ANY ACCESS SECURITY SYSTEM WIRING AND CONDUIT RUNS FOR THE SAME.
- 15. ALL INTERIOR METAL FRAMES SHALL BE 16 GAUGE COLD-ROLLED STEEL UP TO 4'-0" WIDE, 14 GAUGE OVER 4'-0" WIDE, KNOCKDOWN (KD) TYPE FOR ANY FRAMES WITHOUT TRANSOMS OR SIDELIGHTS OTHERWISE WELDED WITH MITERED OR COPED CORNERS, FACTORY PRIMED AND FIELD PAINTED.
- 16. ALL EXTERIOR METAL FRAMES SHALL BE 16 GAUGE GALVANIZED SHEET STEEL UP TO 4'-0" WIDE, 14 GAUGE OVER 4'-0" WIDE WITH MITERED OR COPED AND FULLY WELDED CORNERS, FACTORY PRIMED AND FIELD PAINTED. 17. INSULATED STEEL OVERHEAD DOORS SHALL BE AS SPECIFIED AT DOOR ELEVATIONS NOTES. PROVIDE SOLID BLOCKING FOR DOOR MOTOR & OPERATOR MOUNTING PAD, COORD W/ MANUFACTURER'S REQUIREMENTS
- 18. PROVIDE OVERHEAD DOOR TRACKS AS RECOMMENDED BY THE MANUFACTURER TO SUIT LOADING REQUIREMENTS AND CLEARANCES. PROVIDE VINYL-FACED WEATHERSTRIPPING AT EXTERIOR PERIMETER OF DOOR OPENING. PROVIDE SOLID P.T. WOOD BLOCKING FULL HEIGHT OF EXTER. WALL FULLY ANCHORED AT TOP, BASE, & SPAN FOR SECURE INSTALLATION OF WALL ANGLE DOOR JAMB ASSEMBLY.



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DOOR SCHEDULE NOTES & GEN. INFO